

GENERAL NOTES

PROJECT SCOPE:

MINOR INTERIOR RENOVATION AND NEW EXTERIOR STAIR

GENERAL:

1. ALL WORK SHALL COMPLY WITH APPLICABLE CODES & ORDINANCES IN FORCE AT THE TIME OF CONSTRUCTION.

REGULATIONS:

1. THE CONTRACTOR SHALL HAVE EVIDENCE OF CURRENT WORKER'S COMPENSATION INSURANCE ON FILE IN COMPLIANCE WITH LOCAL CODE.
2. BEFORE COMMENCING WITH THE WORK, THE GENERAL CONTRACTOR SHALL SHOW EVIDENCE OF ALL REQUIRED INSURANCE.
3. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL OWNER REQUIREMENTS AND SHALL BE RESPONSIBLE FOR COMPLIANCE. THE CONTRACTOR SHALL INVESTIGATE LOCAL CODES AND PROCEDURES AND SHALL COMPLY WITH ALL REQUIREMENTS.
4. SIGN CONTRACTOR TO OBTAIN SIGN PERMITS FROM BUILDING DEPARTMENT AS APPLICABLE.
5. ALL CONDUIT, EQUIPMENT AND MATERIAL SHALL BE IN FULL ACCORDANCE WITH THE LATEST SAFETY RULES AND REGULATIONS OF ALL AUTHORITIES AND AGENCIES HAVING JURISDICTION.
6. THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES, AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

FIRE PROTECTION:

1. PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE.
2. PROVIDE STREET ADDRESS WITH NUMBERS FACING THE STREET AS REQUIRED BY FIRE MARSHAL.
- CONSTRUCT FIRE BARRIER WALLS PER PLANS, IF SHOWN.

JOB SITE OPERATIONS:

1. DURING ALL PHASES OF WORK, DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF THE ADJACENT AND NEIGHBORING PROPERTY OWNERS.
2. EACH CONTRACTOR SHALL LEAVE THE SITE IN A NEAT, CLEAN, AND ORDERLY CONDITION UPON THE COMPLETION OF HIS WORK ON A DAILY BASIS. AREA OF WORK TO BE DUSTED, SWEEP, AND MOPPED TO THE SAME CONDITION AS START OF WORK. ALL WASTE, RUBBISH AND EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE PROMPTLY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TRASH, INCLUDING TRASH GENERATED FROM THE OWNER FURNISHED ITEMS AND BY OWNERS CONTRACTORS FOR THE DURATION OF THE PROJECT.
3. ALL EXISTING WORK NOT IN THIS SCOPE OF WORK SHALL BE MAINTAINED IN ITS ORIGINAL CONDITION, U.O.N., PROJECT WORK FROM DAMAGE RESULTING FROM THIS WORK.
4. REMOVE ALL ABANDONED IMPROVEMENTS, INCLUDING ELECTRICAL AND MECHANICAL, U.O.N.

MATERIALS:

1. WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTES ON PLANS, WHETHER IN CONTRACT OR NOT IN CONTRACT, THEY SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH OWNER TO PROVIDE TIMELY ARRIVAL OF ALL MATERIALS, EQUIPMENT, AND OTHER SUCH ITEMS TO BE UTILIZED ON THIS PROJECT (OWNER-PROVIDED OR OTHERWISE). GENERAL CONTRACTOR SHALL NOTIFY OWNER IN WRITING WITHIN 5 DAYS OF DATE OF APPROVED WORK AUTHORIZATION OF THOSE ITEMS THAT MAY NOT BE READILY AVAILABLE. IF NOTIFICATIONS ARE NOT PROVIDED TO THE OWNER, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW-UP OF SPECIFIED ITEMS AND WILL PURCHASE WHATEVER MEANS NECESSARY AT NO ADDITIONAL COST TO OWNER.
3. CONTRACTOR TO ENSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP TO THE OWNER AND NOT DELAY PROGRESS OF THE WORK. NO EXTENSION OF TIME SHALL BE PERMITTED.
4. CONTRACTOR SHALL BE RESPONSIBLE TO RECEIVE, INVENTORY, STORE, AND SECURE ANY OWNER FURNITURE ITEMS (O.F.I.) SUPPLIED AND DELIVERED TO THE JOBSITE OR OTHER AGREED UPON LOCATION, AND FORWARD THE RECEIVING DOCUMENT(S) TO THE OWNER.
5. THE CONTRACTOR SHALL LEAVE WITH OWNER ONE (1) GALLON OF PAINT OF EACH COLOR FOR FUTURE TOUCH-UP WORK.
6. NO SUBSTITUTIONS OF ANY MATERIALS OR ITEMS SPECIFIED IN THE DOCUMENTS ARE PERMITTED U.O.N. AND APPROVED BY THE OWNER.
7. WHERE NO SPECIFIC STANDARDS ARE APPLIED TO A MATERIAL OR METHOD OF CONSTRUCTION TO BE USED ON THE WORK, ALL SUCH MATERIALS AND METHODS ARE TO MAINTAIN STANDARDS OF THE INDUSTRY.
8. PROVIDE ALL NECESSARY ANCHORAGE BLOCKING, BACKING, FRAMING FOR DOOR STOPS, CASEWORK, SHELVING, MIRRORS, WALL MOUNTED EQUIPMENT, AND ALL OTHER ITEMS AS REQUIRED FOR COMPLETE INSTALLATION.

BUILDING ENVELOPE:

1. ALL OPENINGS, FLASHINGS, COUNTER FLASHINGS, AND EXPANSION JOINTS SHALL BE WATERTIGHT.
2. ALL OPEN JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHER STRIPPED TO LIMIT AIR LEAKAGE.
3. USE ACOUSTICAL SEALANT AROUND ALL PIPES, DUCTS, CONDUIT, OUTLETS, SWITCHES, ETC. ON BOTH SIDES OF CROSSING/PENETRATING WALLS WITH THERMAL AND ACOUSTICAL INSULATION.
4. ALL SAW CUTTING AND CORING LOCATIONS SHALL BE REVIEWED AND COORDINATED WITH THE LANDLORD PRIOR TO CUTTING/CORING.
5. ALL FLASHING SHALL BE 24 GA. PREFINISHED METAL. GRAVEL STOPS AND BEAM CAPS TO BE 22 GA. PREFINISHED METAL.
6. EXPOSED EXTERIOR PLYWOOD SHALL BE EXTERIOR GRADE CDX. EXTERIOR WALLS SHALL BE SHEATHED ENTIRELY PER PLANS.
7. ALL DIMENSIONAL LUMBER TO BE DOUGLAS FIR-LARCH, STANDARD OR BETTER.
8. VAPOR BARRIER REQUIREMENTS:
- EXTERIOR WALLS: ONE-PERM REQUIRED, FACED INSULATION-TYP.
 - FLOORS: ONE-PERM REQUIRED, FACED INSULATION BELOW FLOOR OR KRAFTER PAPER BETWEEN DECKING AND UNDERLAYMENT.

- CEILINGS: (NO REQUIREMENT FOR CEILINGS WITHOUT ATTICS ABOVE THEM)

0.5 PERM REQUIRED IN CEILINGS WITHOUT ATTICS ABOVE (SUCH AS SINGLE RAFTER VAULTS), POLYETHYLENE SHEETS OR FOIL FACED BATTS.

ELECTRICAL:

1. GROUND FAULT CIRCUIT PROTECTION REQ'D ON ALL 110 VOLT SINGLE PHASE 15 & 20 AMP OUTLETS IN BATHROOMS, OUTDOORS, WITHIN 6 FEET OF SINKS, & ABOVE COUNTER TOPS.
2. MARK ALL OUTLET LOCATIONS FOR REVIEW & APPROVAL BY OWNER PRIOR TO INSTALLATION.
3. LOCATE THE MIDDLE OF ALL OUTLETS AT 18" A.F. U.O.N.

FINISH:

1. ALL FINISHES SHALL BE IDENTIFIED BY OWNER, INCLUDING CABINETS, DOORS, FINISH TRIM, ETC.
2. DOORS & WINDOWS TO BE WEATHER STRIPPED.
3. ALL WINDOWS TO BE INSULATED GLASS (DOUBLE GLAZED).

DRAWINGS:

1. ALL CONTRACTORS, SUBCONTRACTORS, VENDORS, AND MATERIAL SUPPLIERS SHALL BE RESPONSIBLE FOR REVIEWING THE COMPLETE SET OF DOCUMENTS AS SHOWN IN THE SHEET INDEX. FAILURE TO REVIEW CONSTRUCTION DOCUMENTS WILL NOT RELIEVE ANY CONTRACTORS, SUBCONTRACTORS, VENDORS, OR MATERIAL SUPPLIERS FROM PERFORMING WORK OR PROVIDING MATERIALS REQUIRED FOR COMPLETION OF THE PROJECT AS DEFINED WITHIN THE DOCUMENTS AT TIME OF BID.
2. GENERAL CONTRACTOR SHALL COORDINATE WORK PERFORMED BY OTHER CONTRACTORS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH WORK.
3. SHOULD A CONFLICT EXIST BETWEEN THE CONSTRUCTION DOCUMENTS AND/OR THE SPECIFICATIONS, THE ARCHITECT SHALL BE INFORMED OF THIS DISCREPANCY IMMEDIATELY, AT WHICH TIME THE ARCHITECT SHALL PROVIDE DIRECTION ON HOW TO PROCEED.
4. INSPECT SITE AND VERIFY FIELD DIMENSIONS BEFORE COMMENCING WITH CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY IF THERE ARE ANY SIGNIFICANT DISCREPANCIES.
5. DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
6. LARGER SCALE DETAILING SHALL TAKE PRECEDENCE OVER SMALLER SCALE. VERIFY WITH ARCHITECT.
7. ARCHITECTURE DRAWINGS TAKE PRECEDENCE OVER OTHER DRAWINGS FOR LAYOUT, DIMENSIONS, AND NUMBER OF ITEMS PROVIDED. UPON DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS AND ENGINEERING DRAWINGS, ARCHITECT SHALL BE IMMEDIATELY NOTIFIED IN WRITING.
8. IF ANY ERRORS OR OMISSIONS APPEARS IN CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF SUCH ERRORS OR OMISSIONS.
9. DIMENSIONS SHOWN ON PLANS ARE TO FACE OF EXISTING WALLS OR CENTERLINE OF STUDS OF NEW WALLS, U.O.N. DOORS NOT LOCATED BY DIMENSION ON PLANS OR DETAILS SHALL BE 5" FORM EDGE OF DOOR OPENING TO FINISH FACE OF ADJACENT WALL.
11. ALL RECESSED ELECTRICAL PANELS & CABINETS & OTHER RECESSED CABINETS SHALL BE BACK WITH A LAYER OF GYPSUM WALL BOARD.
12. THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS, VERIFY ALL DIMENSIONS AND FIELD CONDITIONS, AND CONFIRM WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/OWNER FOR CLARIFICATION PRIOR TO PERFORMANCE OF ANY WORK IN QUESTION.
13. CONSULT PLANS OF ALL WORK FOR ALL OPENINGS & ROUGH-OUTS THROUGH WALLS, CEILINGS, & ROOFS FOR DUCTS, PIPES, CONDUITS, CABINETS, & EQUIPMENT. VERIFY SIZE & LOCATION BEFORE PROCEEDING WITH WORK.
14. CONSULT WITH MECHANICAL CONTRACTOR FOR EXACT LOCATIONS OF ACCESS REQUIRED BY THEIR WORK. ACCESS MUST BE PROVIDED FOR ALL CONCEALED VALVES, CONTROLS, DUCTS, ELECTRICAL JUNCTION BOXES, ETC.
16. GRID LINES (OR COLUMN CENTER LINES) ARE SHOWN FOR REFERENCE.
17. A COPY OF APPROVED BUILDING PERMITS WITH ADDENDA AND BULLETINS MUST BE ON SITE AT ALL TIMES DURING CONSTRUCTION.
18. THE STRUCTURE SHOWN ON THESE DRAWINGS IS STRUCTURAL SOUND ONLY IN ITS COMPLETE FORM. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING TO STABILIZE THE BUILDING DURING CONSTRUCTION.

LINN COUNTY SHERIFF'S DEPARTMENT EVIDENCE STORAGE

1050 SE JACKSON ST. ALBANY, OREGON

ABBREVIATIONS

& UP C P # R C 2	AND AT CENTERLINE DIAMETER NUMBER / POUND PLATE / PROPERTY LINE LESS THAN GREATER THAN
AB ABV AC ACOUS ACT AFT ALUM APPROX ARCH	ANCHOR BOLT ABOVE AIR CONDITIONING ACOUSTICAL ACOUSTIC CEILING TILE ALUM ALUMINUM APPROXIMATE ARCHITECTURAL

BD BLK BLDG BLKG BM BN BOT BTWN BURN	BOARD BUILDING BLOCK BLOCKING BEAM BOUNDARY NAILING BOTTOM BETWEEN BUILT-UP ROOF
C CATV CB CER CI CLG CLOS CLR CMU CO COL CONC CONCN CONSTR	CAMBER CABLE TELEVISION CATCH BASIN CERAMIC CAST IRON CEILING JOIST CEILING CLOSET CLEAR CONCRETE MASONRY UNIT CLEANOUT PLYWOOD CONC CONNECTION CONSTRUCTION

DBL DEMO DEPT DETAL DF DIA DM DIST DN DR DS DWG	DOUBLE DEMOLITION DEPARTMENT DETAIL DOUGLAS FIR DIAMETER DIMENSION DISTANCE DOWN DOWN DOWN SPOUT DRAWING
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(E) E EA EJ ELEC ELEV EP EQ EQUIP EXT	EXISTING EAST EACH EXPANSION JOINT ELECTRICAL ELEVATION ELECTRICAL PANEL EQUAL EQUIPMENT EXTERIOR
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FND FD FF FIN FIXT FLR FL FLUOR FH FOM FOS FOW FS FT FTG FUR	FOUNDATION FLOOR DRAIN FINISH FLOOR FINISH FIXTURE FLOOR FLOW LINE FLUORESCENT FIRE HYDRANT FACE OF MASONRY SOFT FACE OF STUD FACE OF WALL FLOOR SINK FOOT / FEET FOOTING FURRING
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GA GALV GC GI GLB QL GND GYPSUM GYP	GAGE / GAUGE GALVANIZED GENERAL CONTRACTOR GREASE INTERCEPTOR GLU-LAM BEAM GROUND GYPSUM
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HB HC HDR HDW HT HM HORIZ HP HTG HDWD HWAC	HOSE BID HOLLOW CORE HEADER HARDWARE HEIGHT HOLLOW METAL HORIZONTAL HIGH POINT HEATING HARDWOOD HEATING, VENTILATION & AIR CONDITIONING
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ID IE INS INFO INSUL INT	INSIDE DIAMETER INVERT ELEVATION INCH / INCHES INFORMATION INSULATION INTERIOR
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JAN JT L LAM LB(S) LF LT	JANITOR JOINT LENGTH LAMINATE / LAMINATED LAVATORY POUND / POUNDS LINEAR FOOT / FEET LIGHT
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MACH MAX MB MECH MED MEZZ MFR MH MIN MISC MSC MT MTD MTL MULL	MACHINE MAXIMUM MACHINE BOLT MECHANICAL MEDIUM MEZZANINE MANUFACTURER MANHOLE MINIMUM MISCELLANEOUS MASSWORY OPENING MOUNTED METAL MULLION
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NIR (N) NIC NIC NET NFVA	NOT RATED NEW NORTH NOT IN CONTRACT NET FREE VENTILATION AREA
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NO NOM NTS	NUMBER NOMINAL NOT TO SCALE
OIA OAR	OVERALL OREGON ADMINISTRATIVE RULES
OC OFCCI	ON CENTER OUTSIDE DIAMETER OUTSIDE FACE OWNER FURNISHED STATUTES

OCOI OPG OPP ORD ORS OSSC	OWNER FURNISHED OWNER INSTALLED OPENING OPPOSITE OVERFLOW ROOF DRAIN OREGON REVISED OREGON STRUCTURAL SPECIALTY CODE
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PARTN PLAM PLYWD PWL POC PR PSI PSF PT PVC	PARTITION PLASTIC LAMINATE PLYWOOD PANEL POINT OF CONNECTION PAIR POUNDS PER SQUARE INCH POUNDS PER SQUARE FT. PRESSURE TREATED POLYVINYL CHLORIDE
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QT R RAD RB RD RD ROWD REF REFR REINF	QUARRY TILE RISER RADIUS RUBBER BASE ROOF DRAIN REDWOOD REFERENCE REFRIGERATOR REINFORCED
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REPL REQD RESIL REV RM RO ROM ROW RS	REPLACE REQUIRED RESILIENT REVISION ROOM ROUGH OPENING ROUGH ORDER OF MAGNITUDE RIGHT OF WAY RESAWN
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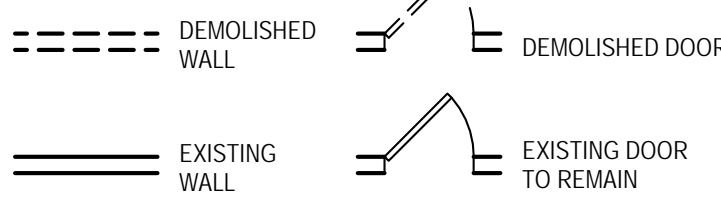
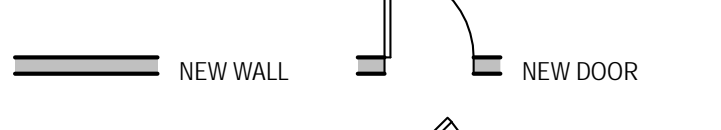
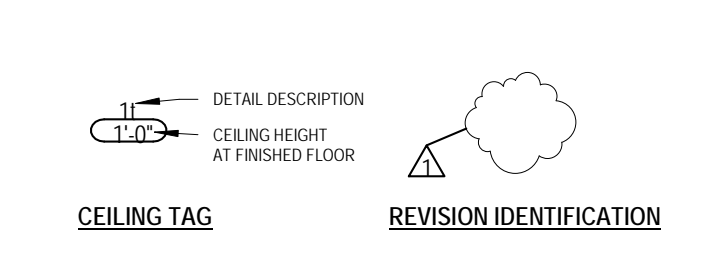
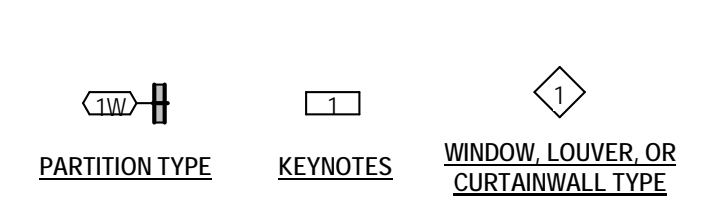
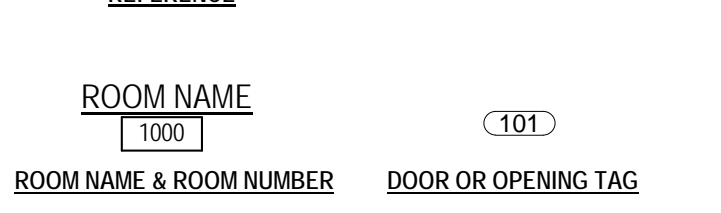
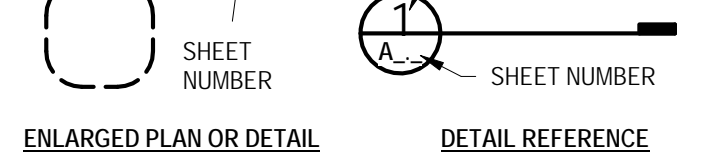
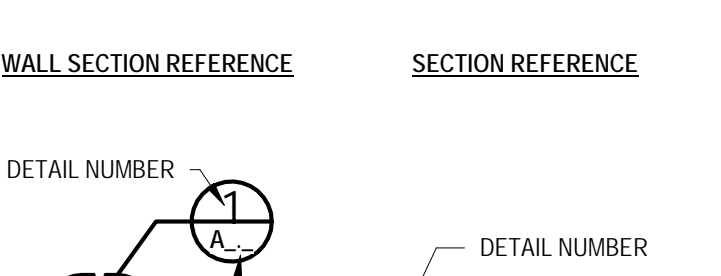
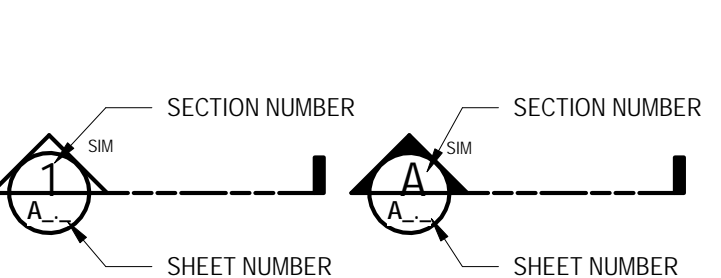
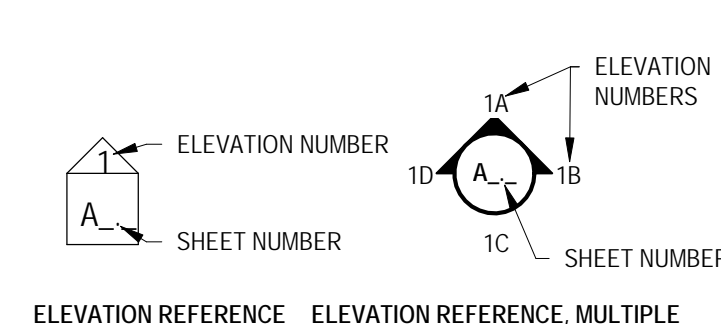
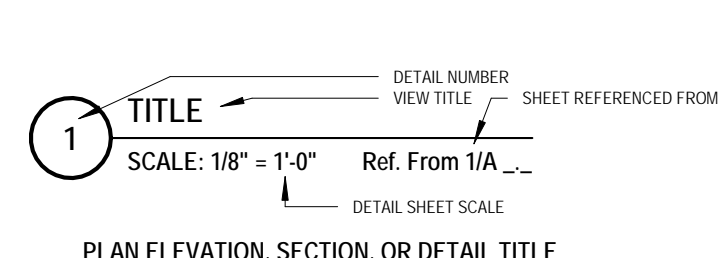
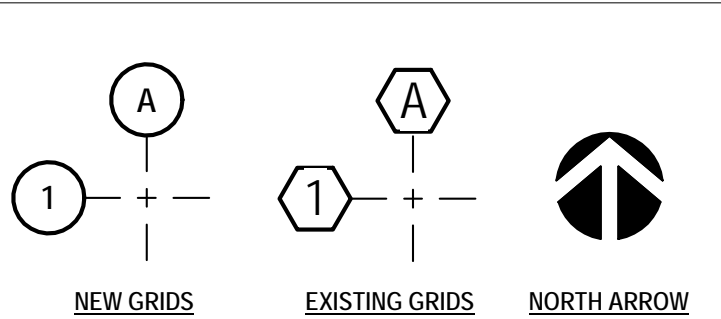
S SC SCHED SECT SHT SHTG SM SP SPEC SQ SOFT SOIN SS STD STL STOR STRUCT SYM	SOUTH SOLID CORE SCHEDULE SECTION SHEET SHEATHING SIMILAR SPANDREL SPECIFICATION SQUARE SQUARE FOOT / FEET SQUARE INCH STAINLESS STEEL STANDARD STEEL STORAGE STRUCTURAL SYMMETRICAL
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T TB TC TEL TAG THK TJ TOP TOP THRU TS TYP	TEMPERED TOP OF BEAM TOP OF CURB TELEPHONE TONGUE & GROOVE THICK TOP OF JOIST TOP OF PARAPET TOP OF PAVEMENT THROUGH TUBE STEEL TYPICAL
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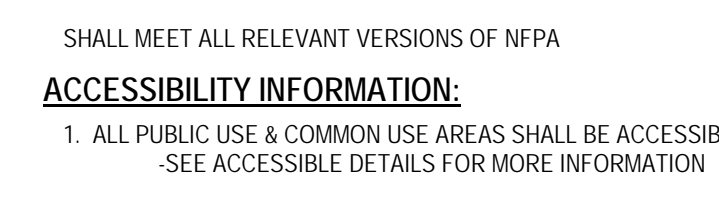
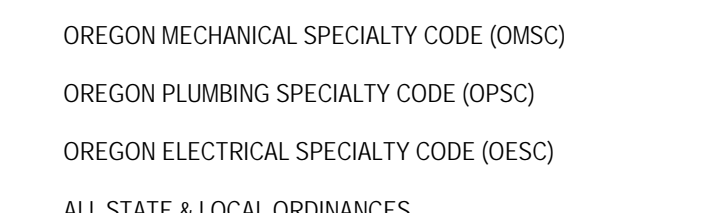
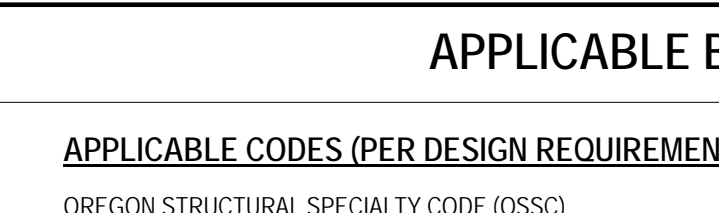
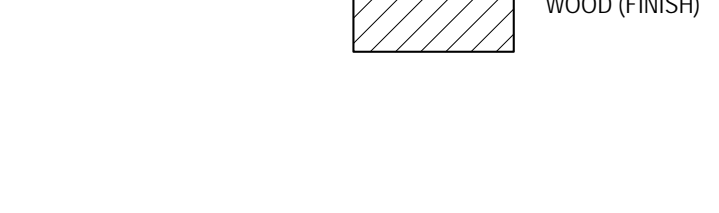
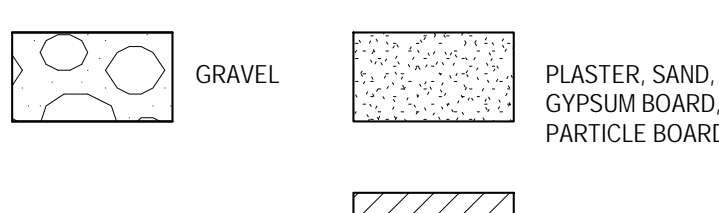
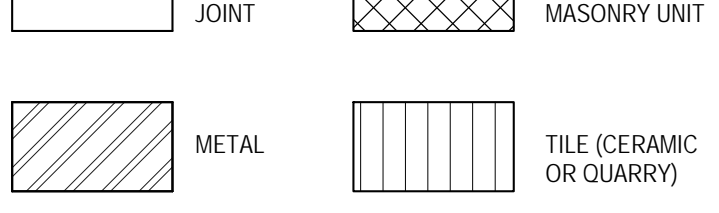
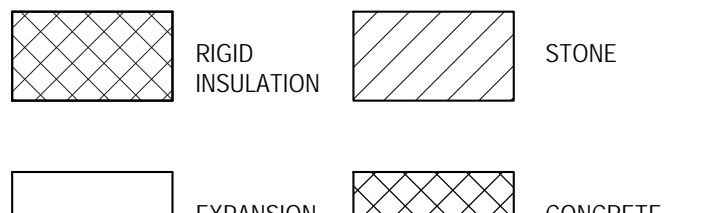
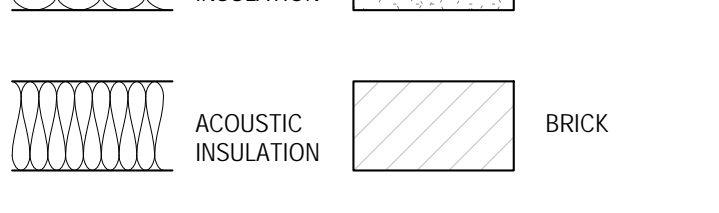
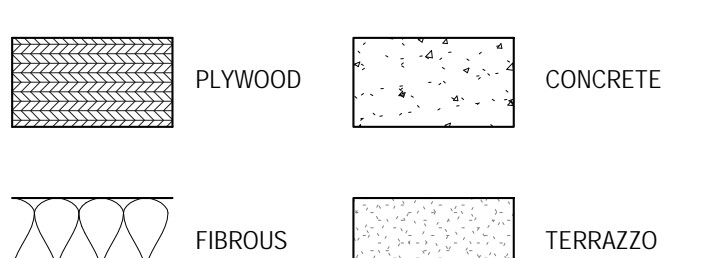
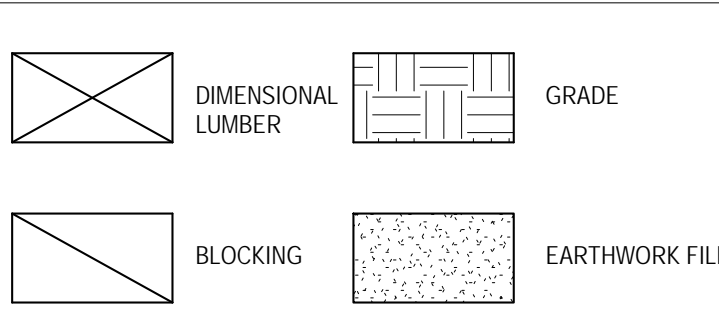
UL UON VCT VERT VEST VTR	UNDERWRITERS LABORATORY UNLESS OTHERWISE NOTED VINYL COMPOSITE TILE VERTICAL VESTIBULE VENT THROUGH ROOF
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W WI WC WD WF WH WIO WP WR WRB WWF	WEST WITH WATER CLOSET WOOD WIDE FLANGE WATER HEATER WITHOUT WATERPROOF WATER RESISTANT WEATHER RESISTANT BARRIER WELDED WIRE FABRIC
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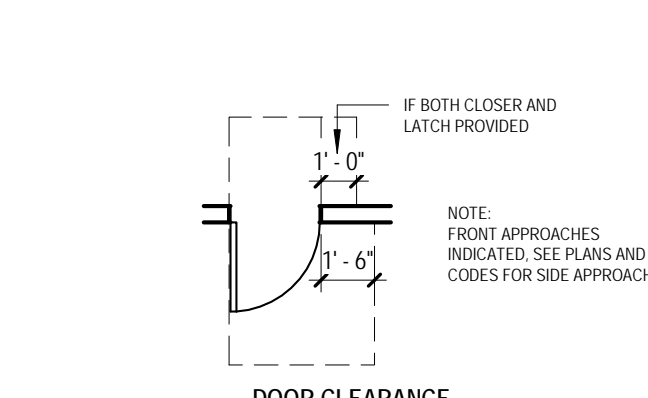
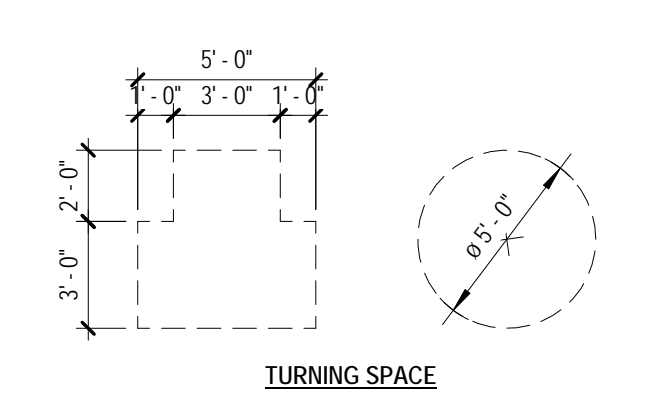
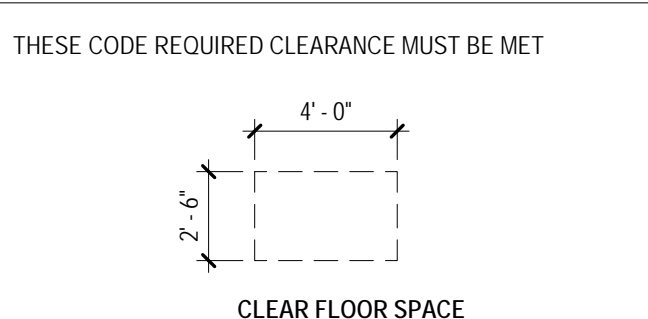
SYMBOL LEGEND



MATERIAL LEGEND



ACC. SYMBOL LEGEND



APPLICABLE BUILDING CODES

APPLICABLE CODES (PER DESIGN REQUIREMENTS FOR THE CITY OF CORVALLIS)

OREGON STRUCTURAL SPECIALTY CODE (OSSC)	2014
OREGON MECHANICAL SPECIALTY CODE (OMSC)	2014
OREGON PLUMBING SPECIALTY CODE (OPSC)	2014
OREGON ELECTRICAL SPECIALTY CODE (OESC)	2014
ALL STATE & LOCAL ORDINANCES	CURRENT
SHALL MEET ALL RELEVANT VERSIONS OF NFPA	CURRENT

ACCESSIBILITY INFORMATION:

1. ALL PUBLIC USE & COMMON USE AREAS SHALL BE ACCESSIBLE PER 2014 OSSC, CHAPTER 11.
- SEE ACCESSIBLE DETAILS FOR MORE INFORMATION

BUILDING CODE SUMMARY

OCCUPANCY TYPE:

B BUSINESS, OFFICE SPACE
S1 STORAGE

CONSTRUCTION TYPE:

VB
1

STORIES:

1

PROJECT DESCRIPTION:

MINOR INTERIOR RENOVATION AND NEW EXTERIOR STAIR.

BUILDING AREA:

4,808 SF TOTAL AREA

REQUIRED OCCUPANCY SEPARATIONS (TABLE 508.4)

OCCUPANCY TYPES	SPRINKLERS	SEPARATION
B TO S-1	NONE	NONE REQUIRED

FIRE SPRINKLERS:

EXISTING?

BUILDING REQUIREMENTS:

1. DOOR WIDTH	SEE EGRESS PLAN	SECTION 1008.1.1
2. MAXIMUM TRAVEL DISTANCE	200'-0"	TABLE 1016.2

SHEET LIST

Sheet Number	Sheet Name
A0.00	COVER SHEET
A0.01	CODE SHEET
A0.02	ACCESSIBILITY DETAILS
A0.05	PARTITION ASSEMBLIES
A2.00	FLOOR PLAN
A2.01	ENLARGED FLOOR PLAN
A3.00	EXTERIOR ELEVATIONS
A4.00	WINDOW TYPES & DETAILS
A4.01	DOOR TYPES, DETAILS & SCHEDULE
A6.00	REFLECTED CEILING PLAN
A7.00	INTERIOR ELEVATIONS
A9.00	INTERIOR DETAILS

CONTACT LIST

SITE ADDRESS:	1050 SE JACKSON STREET ALBANY, OR 97321	JURISDICTION:	THE CITY OF ALBANY DEVELOPMENT DEPARTMENT 333 BROADALBIN ST SW ALBANY, OR 97321 PH: (541) 967-3950
TENANT:	LINN COUNTY SHERIFF'S OFFICE 1115 SE JACKSON STREET ALBANY, OR 97322 PH: (541) 967-3950 CONTACT:	CONTRACTOR:	TO BE SELECTED
ARCHITECT:	VARITONE ARCHITECTURE, LLC 231 2ND AVE SW ALBANY, OR 97321 PH: (541) 497-2954 CELL: (541) 224-2210 CONTACT: CHRISTINA KNOWLES, AIA		

DEFERRED DOCUMENTS

PROJECT SUMMARY

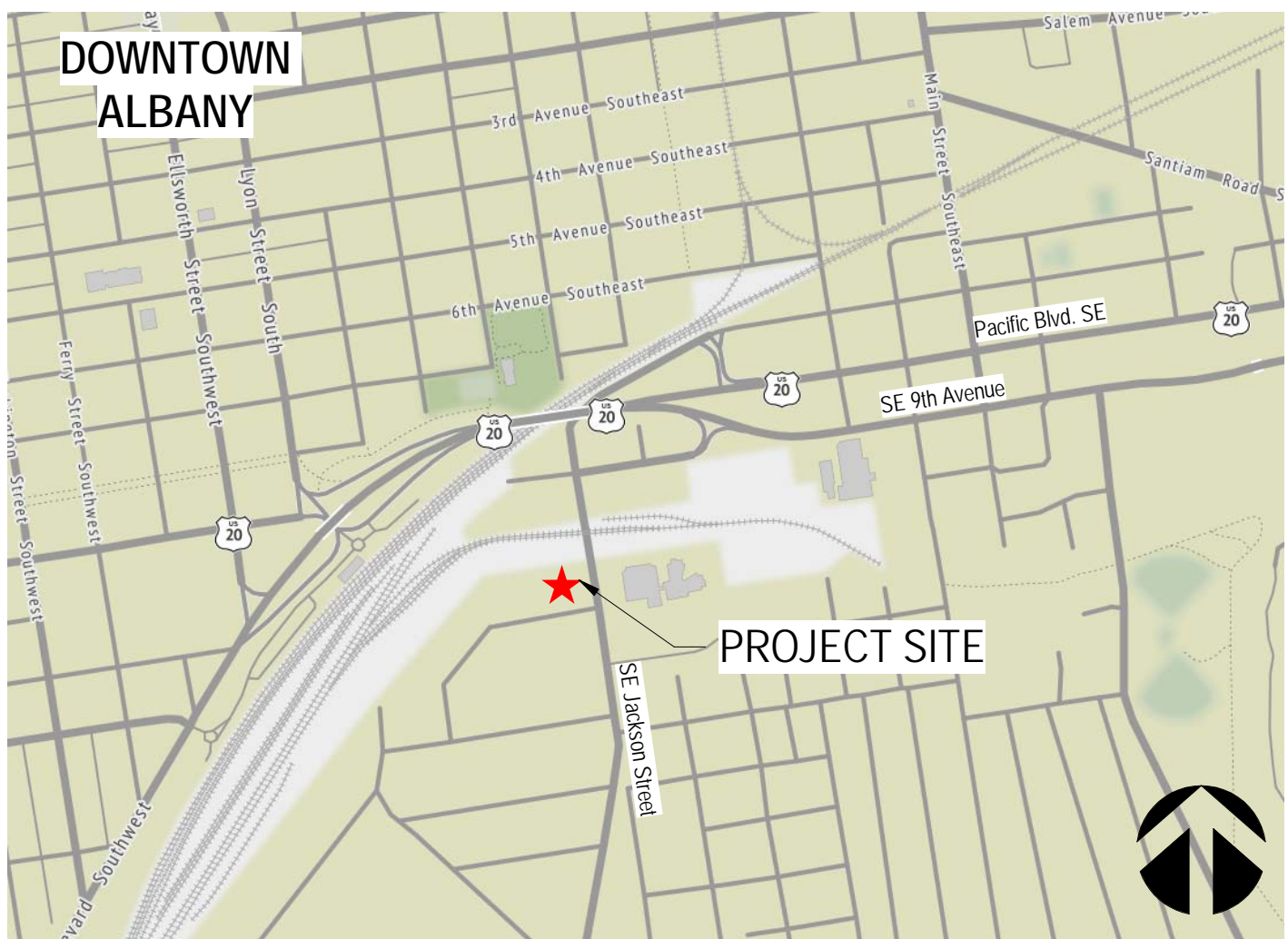
SCOPE OF ARCHITECTURAL SERVICES:
VARITONE ARCHITECTURE LLC HAS PERFORMED THE ARCHITECTURAL DESIGN AND PREPARED THE WORKING DRAWINGS FOR THIS PROJECT. CONSTRUCTION MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DRAWINGS. ANY DEVIATION FROM DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF VARITONE ARCHITECTURE LLC. ERRORS AND/OR OMISSIONS FOUND ON THE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF VARITONE ARCHITECTURE LLC IMMEDIATELY.

FIELD MEASUREMENTS AND THE VERIFICATION OF FIELD DIMENSIONS ARE NOT PART OF VARITONE ARCHITECTURE'S RESPONSIBILITY. THE CONTRACTOR MUST CHECK ALL (ASSUMED) EXISTING CONDITIONS SHOWN ON THESE DRAWINGS FOR ACCURACY AND NOTIFY VARITONE ARCHITECTURE LLC OF ANY DISCREPANCIES.

OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS OR THE ADVERTENT MISLABELING OF DETAILS OF WORK WHICH ARE NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OF WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INADVERTENTLY MISLABELED DETAILS OF WORK, BUT THEY SHALL PERFORM AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

PREFABRICATED SYSTEMS DESIGNED BY OTHERS:
VARITONE ARCHITECTURE LLC IS RESPONSIBLE FOR THE DESIGN OF PRIMARY STRUCTURAL SYSTEMS, EXCEPT FOR ANY COMPONENTS NOTED AS PRE-MANUFACTURED ON THE PLANS OR IN THE SPECIFICATIONS. RESPONSIBILITY FOR ANY SECONDARY STRUCTURAL & NON-STRUCTURAL SYSTEMS NOT SHOWN ON THE DRAWINGS REST WITH THE MANUFACTURER OF THAT SYSTEM.

PROJECT LOCATION



VARITONE ARCHITECTURE & INTERIOR DESIGN
A LIMITED LIABILITY COMPANY

231 2nd Avenue SW
Albany, Oregon 97321
Ph: 541.497.2954

LINN COUNTY SHERIFF'S DEPT.
EVIDENCE STORAGE

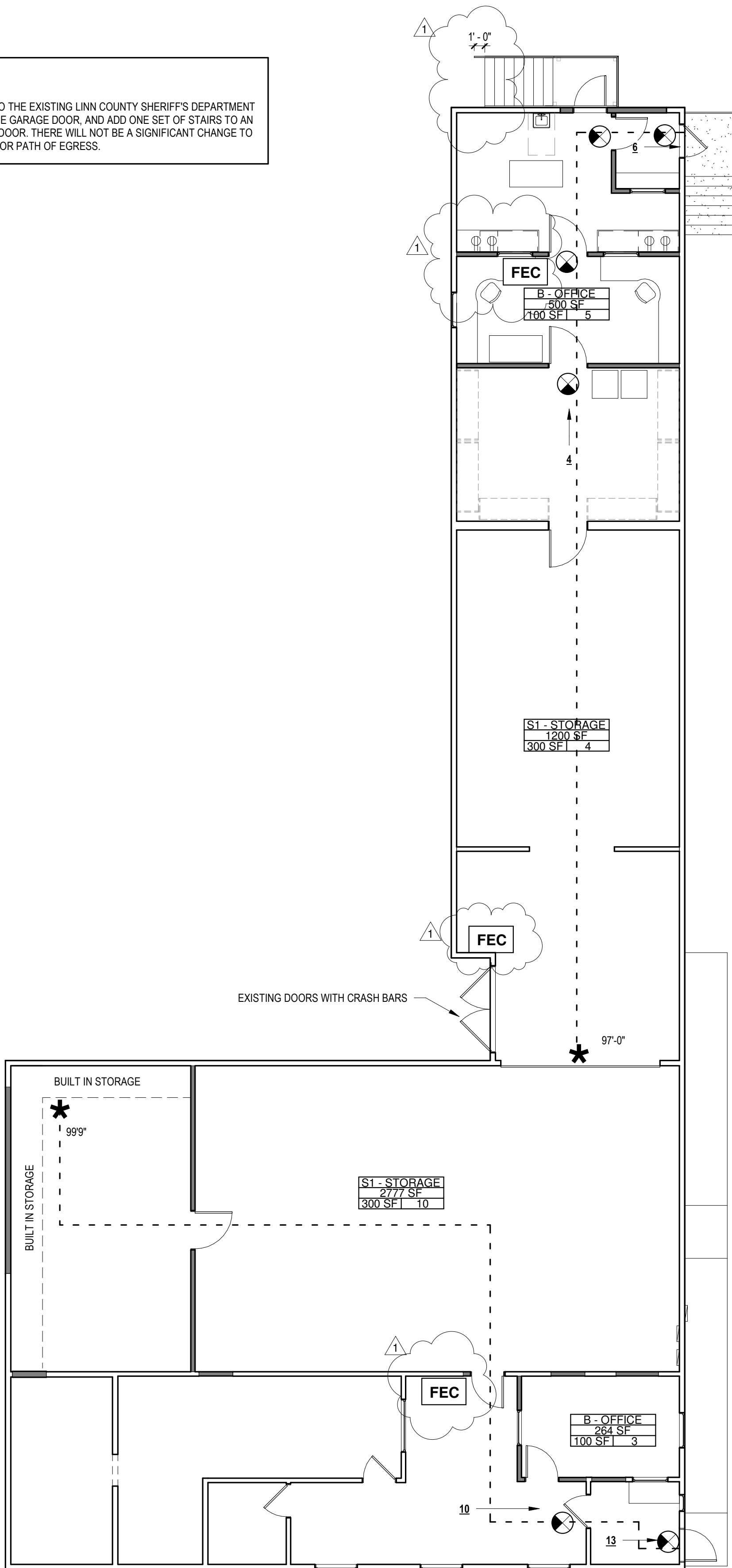
1050 SE JACKSON ST. ALBANY, OREGON

Issue:	CD SET
Date:	12/22/17
Revision:	Date:

COVER SHEET

A0.00

NOTE:
THE RENOVATION TO THE EXISTING LINN COUNTY SHERIFF'S DEPARTMENT WILL CLOSE OFF ONE GARAGE DOOR, AND ADD ONE SET OF STAIRS TO AN EXISTING ROLL UP DOOR. THERE WILL NOT BE A SIGNIFICANT CHANGE TO THE USE OF SPACE OR PATH OF EGRESS.



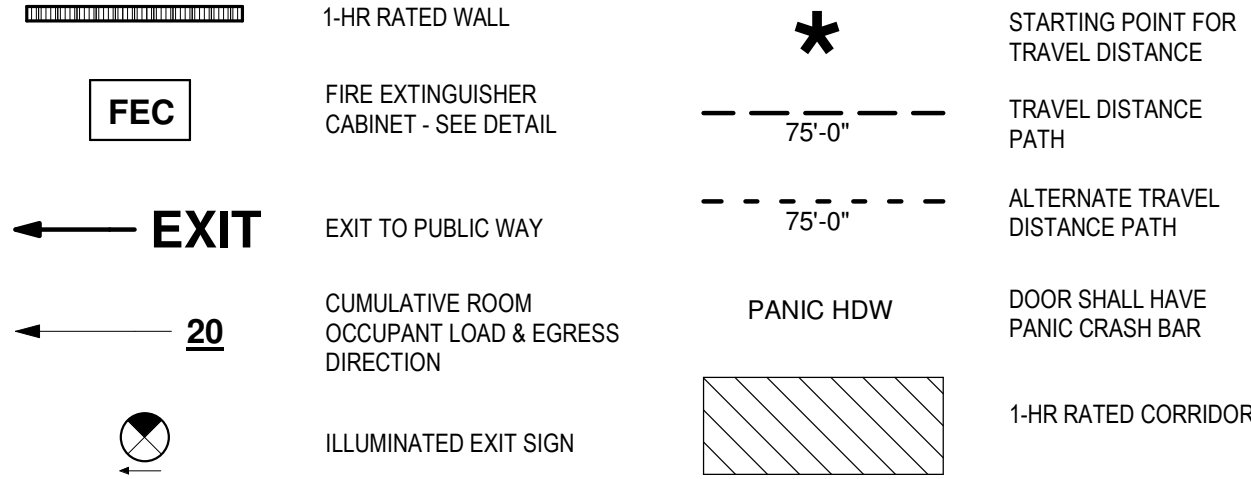
1 CODE PLAN
1/8" = 1'-0" REF. FROM 1 / A3.00

ENVELOPE ASSEMBLIES AND REQUIREMENTS

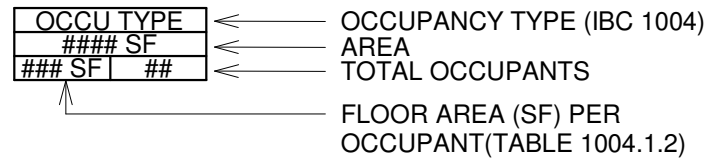
ENERGY CODE: 2014 OREGON ENERGY EFFICIENCY SPECIALTY CODE
PROJECT TYPE: ADDITION
ENVELOPE COMPLIANCE METHOD: PRESCRIPTIVE

COMPONENT NAME / DESCRIPTION	R-VALUE / U FACTOR		PROPOSED	
	R/U VALUE	SHGC	R-VALUE	SHGC
ROOF: ATTIC ROOF W/ WOOD JOISTS	38.0	0.0	38	---
FLOOR: SLAB-ON-GRADE, UNHEATED (VERT. INSUL.)	---	NR	0	---
EXTERIOR WALL: WOOD FRAMED, 16" O.C.	21	0.0	21	---
WINDOW: VINYL/FIBERGLASS FRAME	---	---	---	---
WINDOW: METAL FRAME	0.35	0.40	0.35	0.400
DOOR: ENTRANCE >50% GLAZING, METAL FRAME	0.35	0.40	0.800	0.400
DOOR:	0.70	---	0.700	---
STORE FRONT	0.35	0.40	0.35	0.40

EGRESS SYMBOLS LEGEND

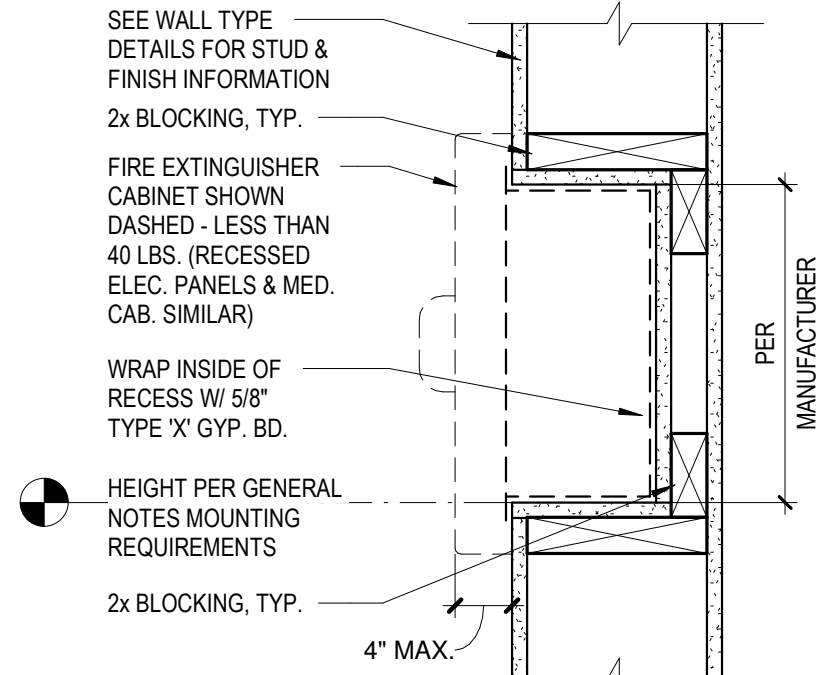


OCCUPANCY TYPE / LOAD / AREA INDICATOR (IBC 1004)



FIRE EXTINGUISHERS (TO COMPLY WITH OREGON FIRE CODE, SECTION 906.3)

SEE CODE FLOOR PLAN FOR EXTINGUISHER LOCATIONS
PROVIDE NFPA/UL APPROVED MINIMUM SIZE 2A:10B; LOCATE TO ALLOW 75 FEET MAXIMUM TRAVEL DISTANCE TO AN EXTINGUISHER AT BUILDING INTERIOR SPACES; MOUNTING 48" A.F.F. MAX. TO HANDLE ON EXTINGUISHER (LOCATE AS NEAR TO DOORS AS POSSIBLE); NOT IN MIDDLE OF WALLS; PROVIDE 2A:10BC IN MECH/ELEC. ROOMS; FINAL LOCATIONS SUBJECT TO FIRE DEPT. APPROVAL.



GENERAL NOTES:
PROVIDE NFPA/UL APPROVED MIN. SIZE 2A:10BC; LOCATE TO ALLOW 75' MAX. TRAVEL DISTANCE TO AN EXTINGUISHER AT BUILDING INTERIOR SPACES. (1) PER 3,000 S.F. - **MOUNT 48" A.F.F. MAX. TO HANDLE ON EXTINGUISHER (LOCATE AS NEAR DOORS AS POSSIBLE) NOT IN MIDDLE OF WALLS.** PROVIDE 20BC IN MECH./ELEC. ROOMS & IN ATTIC STORAGE ROOMS. FINAL LOCATIONS SUBJECT TO FIRE DEPT. APPROVAL.

2 FIRE EXTINGUISHER CABINET
1 1/2" = 1'-0"



VARITONE
ARCHITECTURE
& INTERIOR DESIGN
A LIMITED LIABILITY COMPANY

231 2nd Avenue SW
Albany, Oregon 97321
Ph: 541.497.2954

LINN COUNTY SHERIFF'S DEPT.
EVIDENCE STORAGE

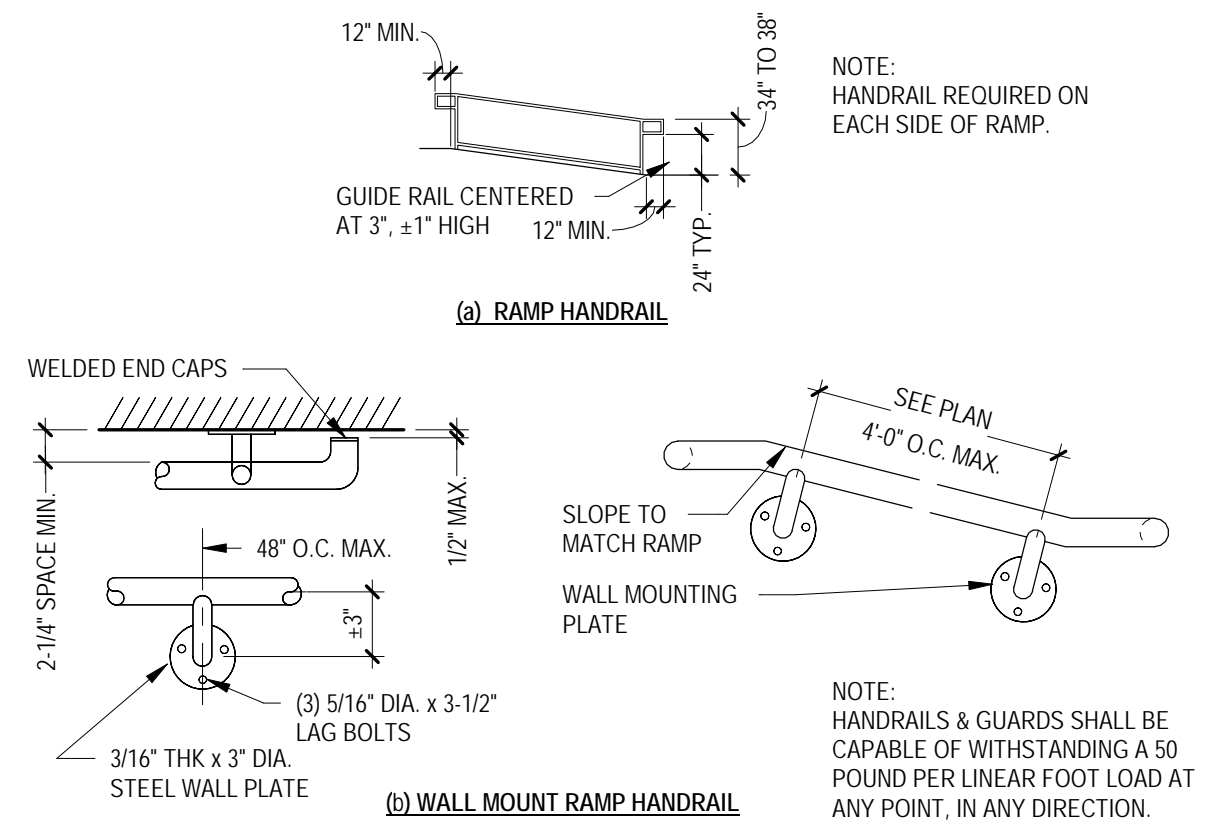
1050 SE JACKSON ST. ALBANY, OREGON

Issue: CD SET
Date: 12/22/17

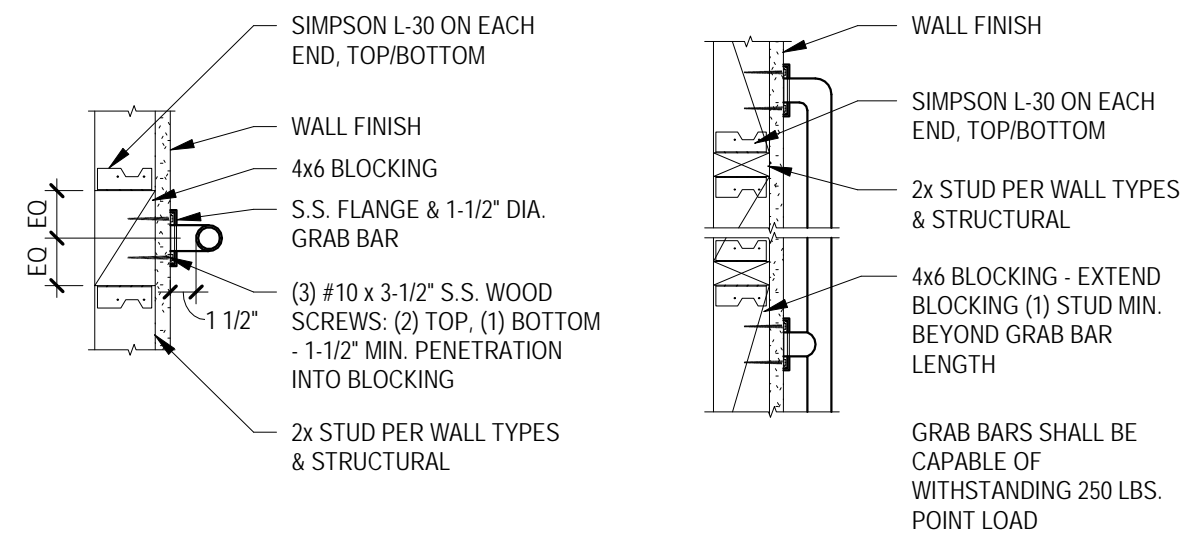
Revision: Date:
1 Addendum 1 01-27-20

CODE SHEET

A0.01

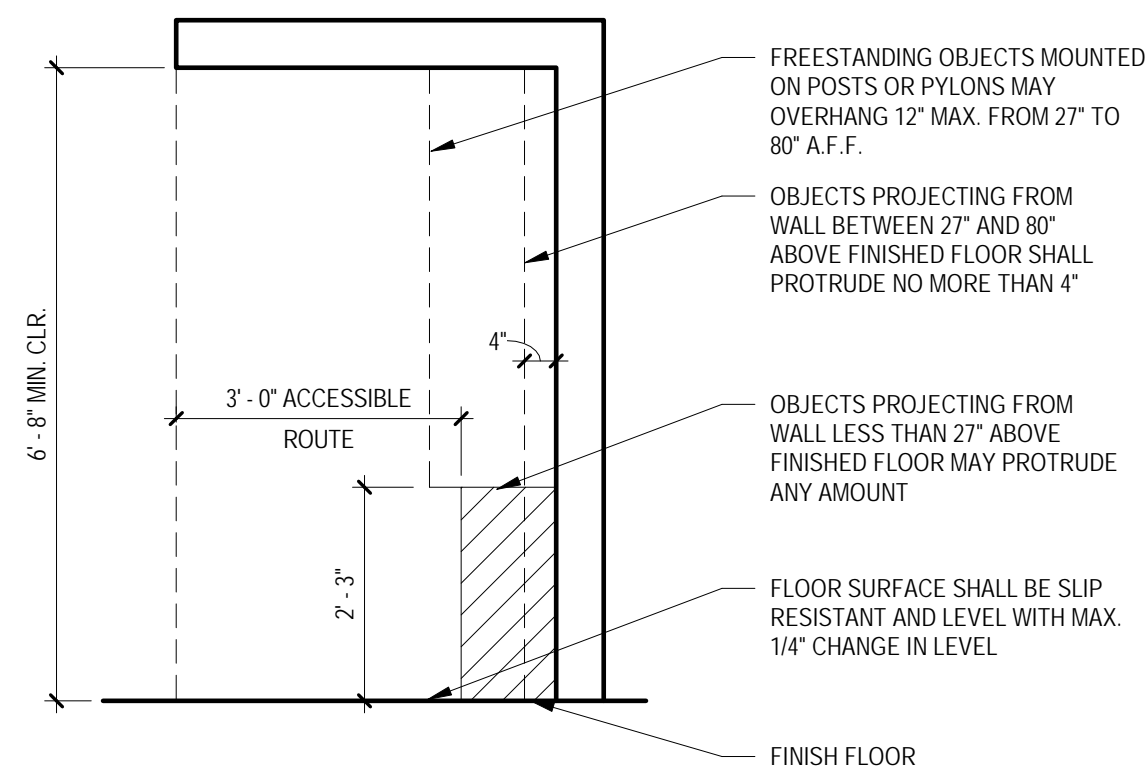


12 EXTERIOR HANDRAIL DETAILS



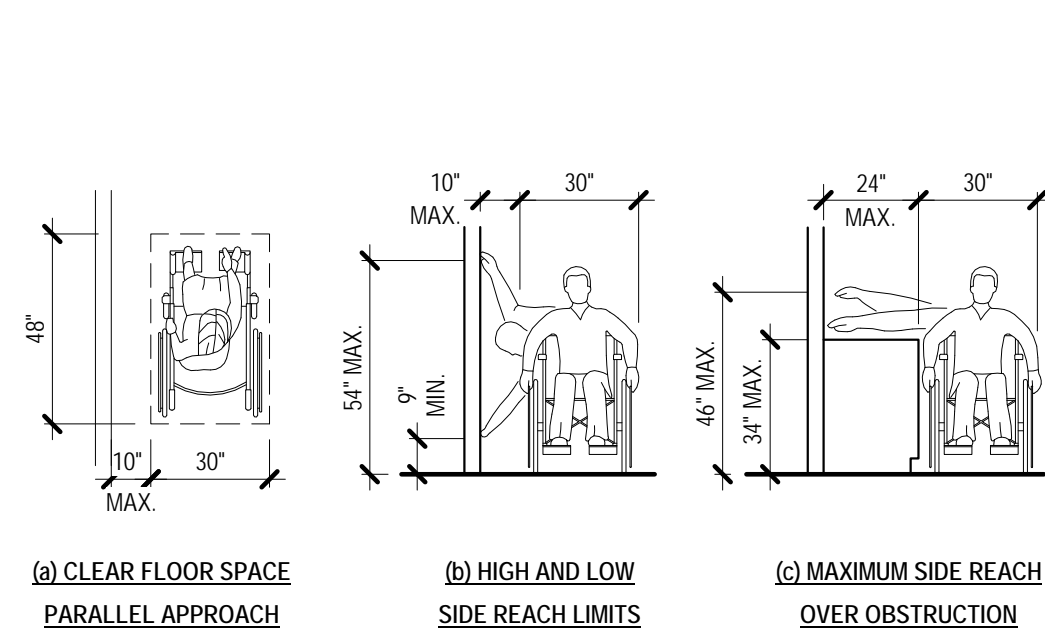
13 GRAB BAR BLOCKING

1" = 1'-0"



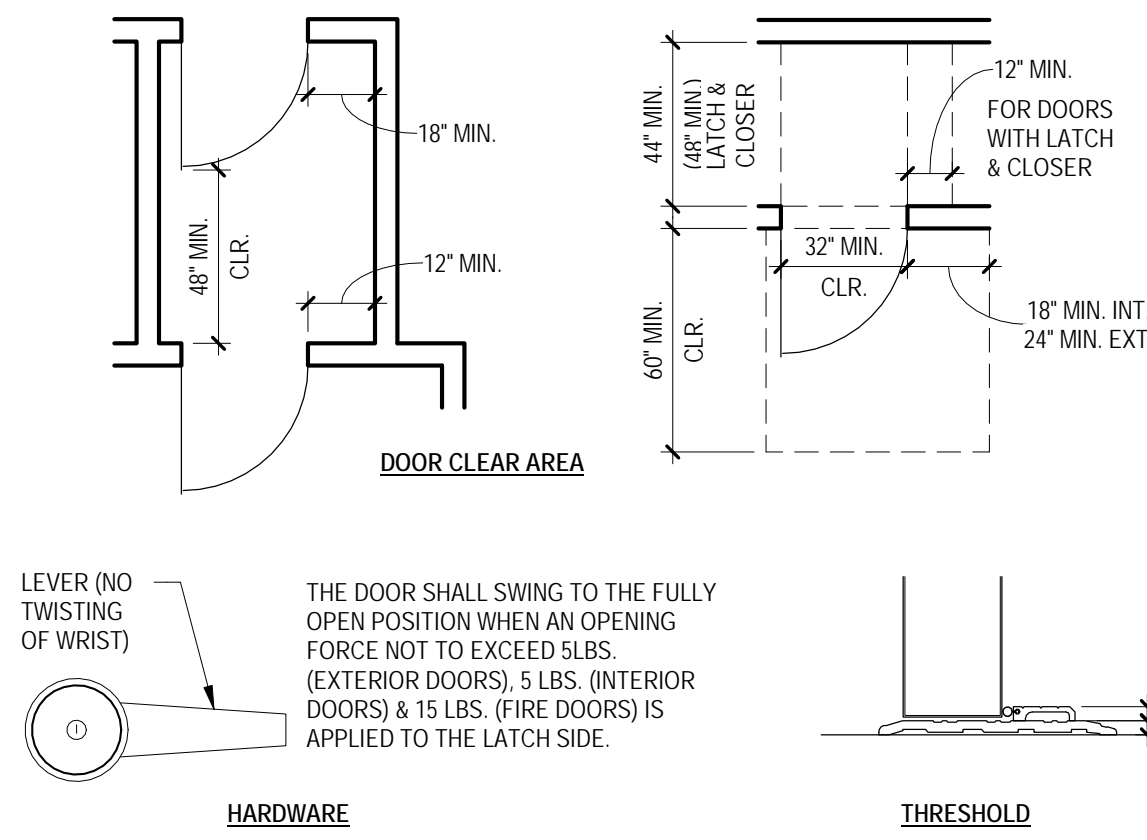
14 VERTICAL CLEARANCES

1/2" = 1'-0"



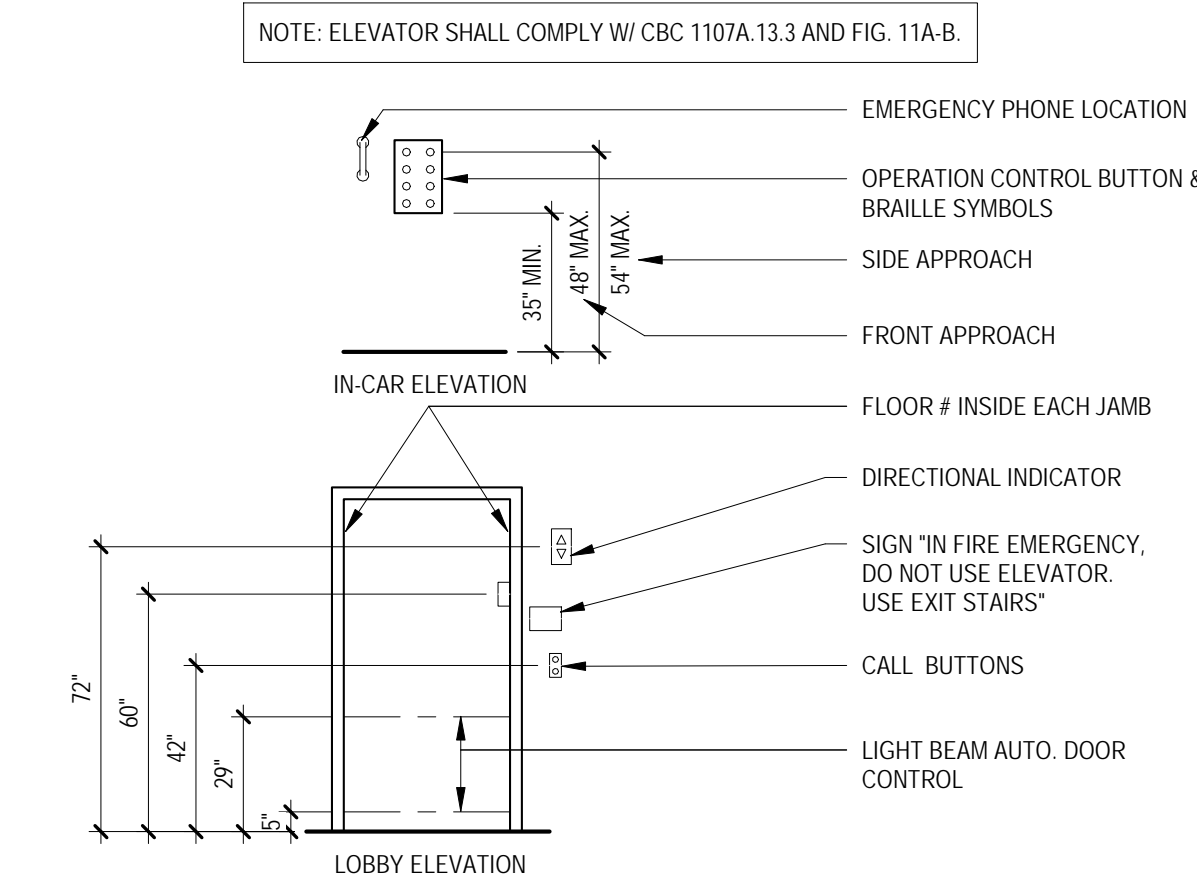
8 SIDE REACH

1" = 1'-0"



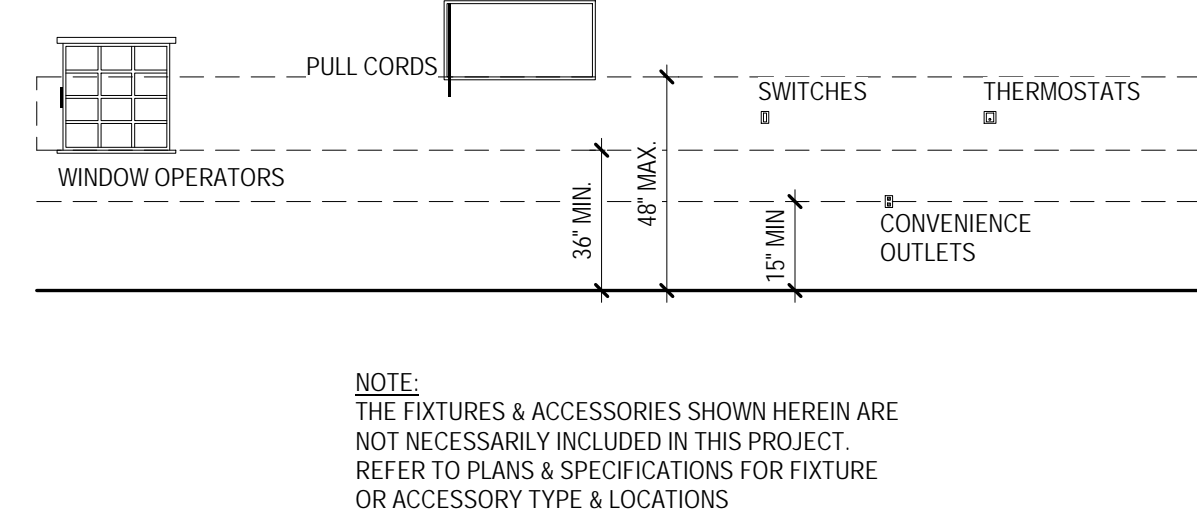
9 DOOR CLEAR AREA

1/4" = 1'-0"



10 ADA ACCESSIBLE ELEVATOR PROVISIONS

1/4" = 1'-0"

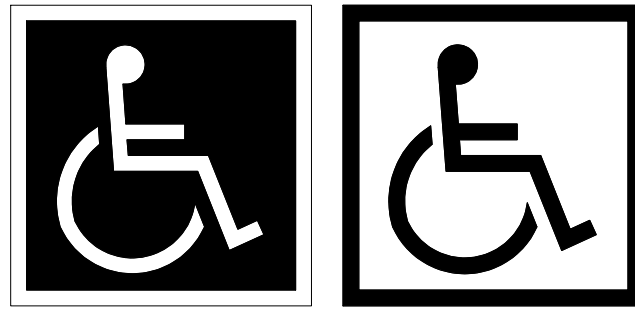


11 ACCESSORY REACH HEIGHTS

3/8" = 1'-0"



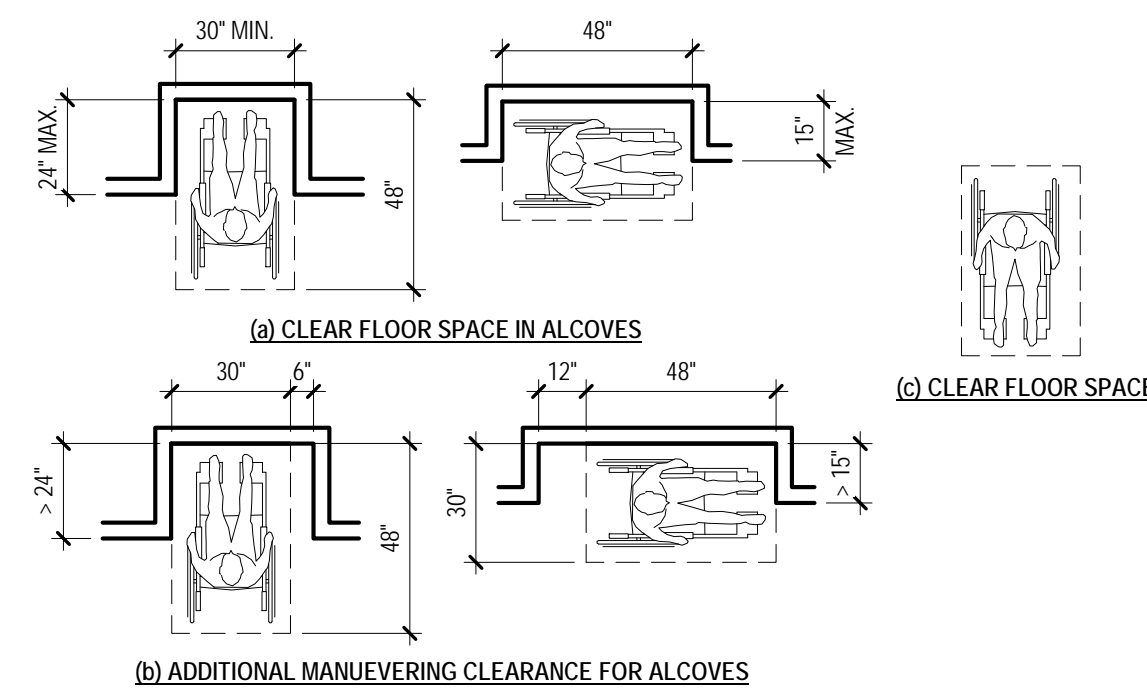
(A) SYMBOL PROPORTIONS



(B) DISPLAY CONDITIONS

4 ACCESSIBILITY SIGN

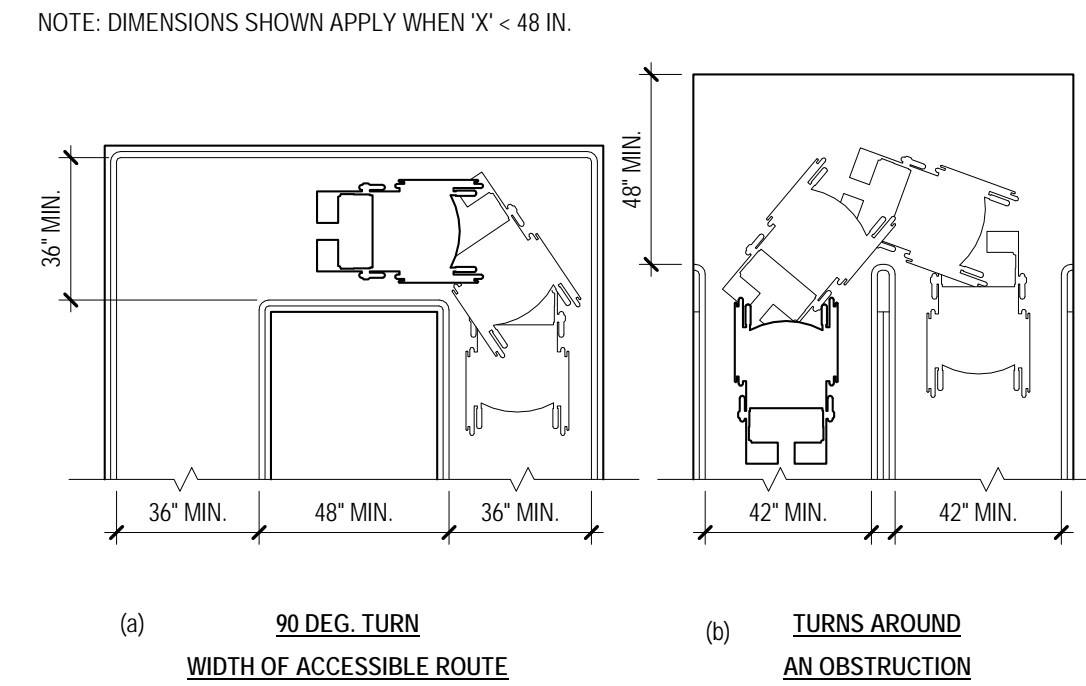
1" = 1'-0"



THE MINIMUM CLEAR FLOOR SPACE REQUIRED TO ACCOMMODATE A SINGLE STATIONARY WHEELCHAIR AND OCCUPANT SHALL BE NOT LESS THAN 30 INCHES WIDE BY 48 INCHES LONG. WHERE THE CLEAR FLOOR SPACE IS LOCATED IN AN ALCOVE MORE THAN 24 INCHES DEEP AND A WHEELCHAIR USER MUST MAKE A FORWARD APPROACH, THE WIDTH OF THE CLEAR FLOOR SPACE SHALL BE INCREASED TO A MINIMUM OF 36 INCHES. WHERE THE CLEAR FLOOR SPACE IS LOCATED IN AN ALCOVE MORE THAN 15 INCHES DEEP AND THE WHEELCHAIR USER MUST MAKE A PARALLEL APPROACH, THE LENGTH OF THE CLEAR FLOOR SPACE SHALL BE INCREASED TO A MINIMUM OF 60 INCHES.

5 WHEELCHAIR ALCOVES

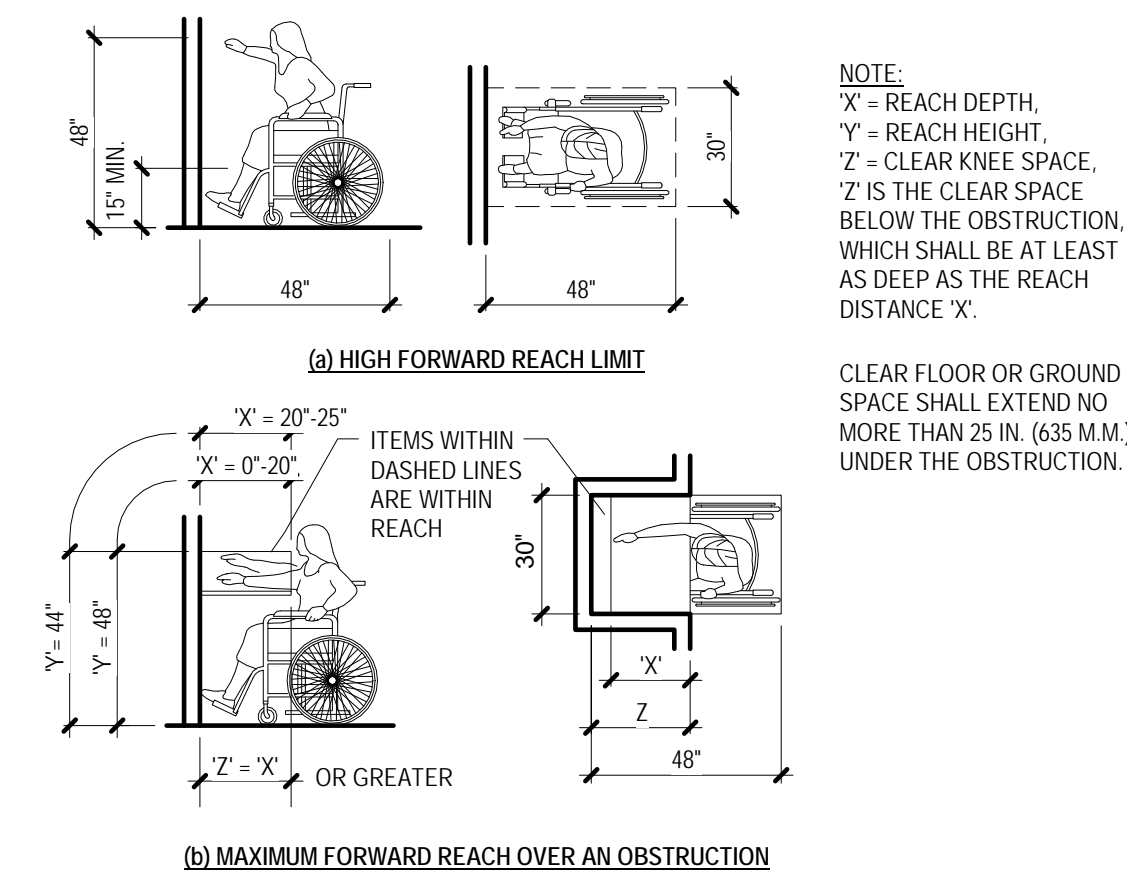
1/4" = 1'-0"



GENERAL ACCESSIBLE ROUTES SHALL BE DESIGNED AND CONSTRUCTED ACCORDING TO THIS SECTION. RAMPS IN AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 1109.7. DOOR IN AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 1109.9. PROTRUDING OBJECTS ALONG AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 1109.5. FLOOR COVERINGS AND SURFACE TREATMENTS OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 1109.6.

6 ACCESSIBLE ROUTE

1/4" = 1'-0"



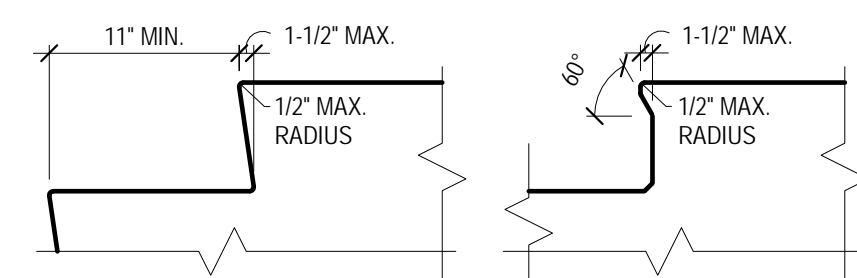
7 FORWARD REACH

1" = 1'-0"

GENERAL ACCESSIBILITY NOTES:

- THE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSION. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.
- ALL DETAILS SHOWN ON THIS SHEET ARE TYPICAL FOR ACCESSIBLE FIXTURES AND EQUIPMENT AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS. ITEMS SHOWN ON THIS SHEET THAT ARE NOT INCLUDED IN THE ARCHITECTURAL DOCUMENTS SHALL BE DISREGARDED.

INFORMATION ON THE DOCUMENTS THAT IS MORE SPECIFIC TO INDIVIDUAL CONDITIONS SUPERSEDES THE INFORMATION SHOWN ON THIS SHEET.

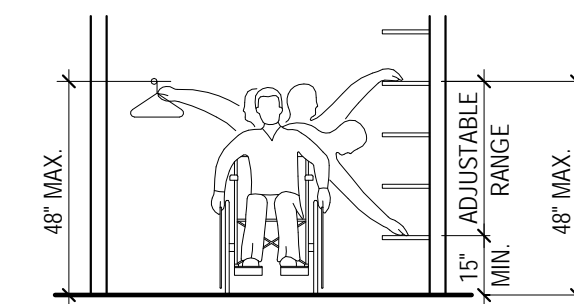


USABLE TREAD WIDTH AND EXAMPLES OF ACCEPTABLE PROTRUDING NOSINGS

1009.3.3 PROFILE: THE RADIUS CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NOT GREATER THAN 1/2". BEVELING OF NOSINGS SHALL NOT EXCEED 1/2". RISERS SHALL BE SOLID AND VERTICAL OR SLOPED FROM THE UNDER SIDE OF THE LEADING EDGE OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL. THE LEADING EDGE OF TREADS SHALL PROJECT NOT MORE THAN 1/4" BEYOND THE TREAD BELOW AND ALL PROJECTIONS OF THE LEADING EDGES SHALL BE OF UNIFORM SIZE, INCLUDING THE LEADING EDGE OF THE FLOOR AT THE TOP OF A FLIGHT.

1 STAIRS

1" = 1'-0"



STORAGE SHELVES AND CLOSETS

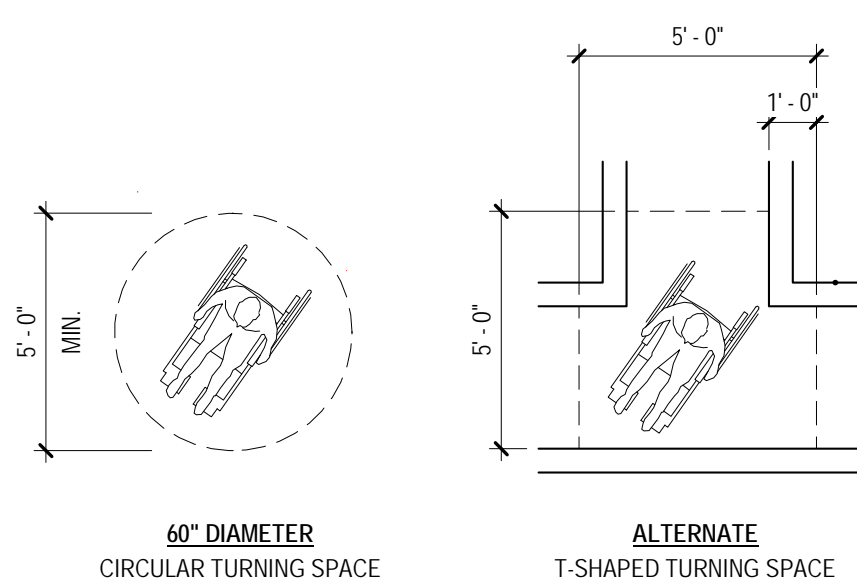
WHERE FIXED OR BUILT-IN STORAGE FACILITIES SUCH AS CABINETS, SHELVES AND DRAWERS ARE PROVIDED IN ACCESSIBLE SPACES, AT LEAST ONE OF EACH TYPE PROVIDED SHALL CONTAIN STORAGE SPACE COMPLYING WITH SECTION 1109.17.

1109.17 STORAGE: SHELVING AND DISPLAY UNITS SHALL HAVE A CLEAR FLOOR SPACE NOT LESS THAN 30 INCHES BY 48 INCHES THAT ALLOWS EITHER A FORWARD OR PARALLEL APPROACH (SEE ADAAG FIGURE 38)

1109.17.2: WHERE REQUIRED TO BE ACCESSIBLE, AT LEAST ONE OF EACH TYPE OF STORAGE, SHELVING AND DISPLAY UNITS PROVIDED SHALL BE WITHIN THE REACH RANGES SPECIFIED IN SECTION 1109.2.3.5 OR 1109.2.3.6. CLOTHES RODS SHALL BE NOT MORE THAN 48 INCHES ABOVE THE FLOOR.

2 STORAGE

1" = 1'-0"

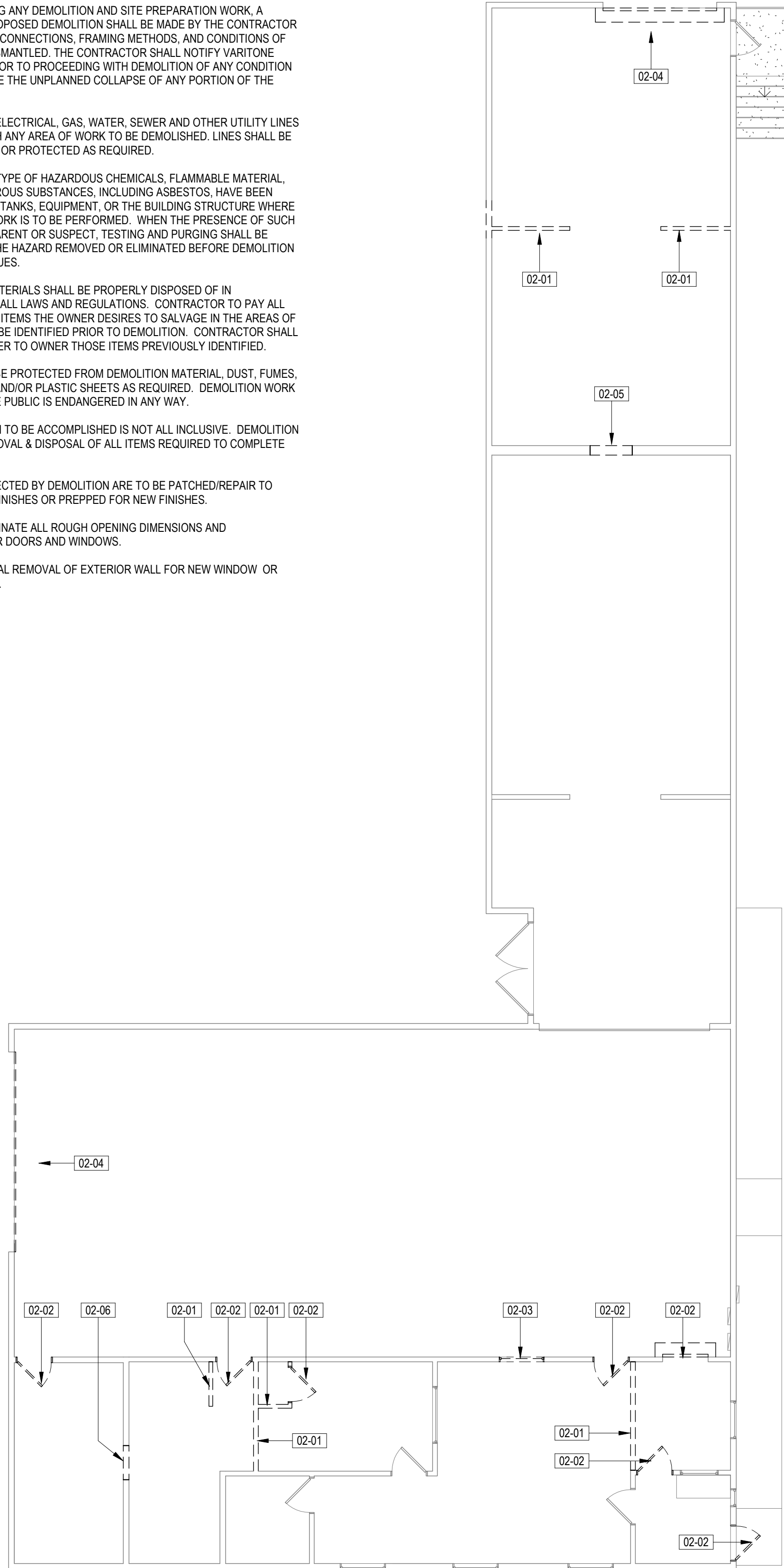


3 WHEELCHAIR TURNING SPACE

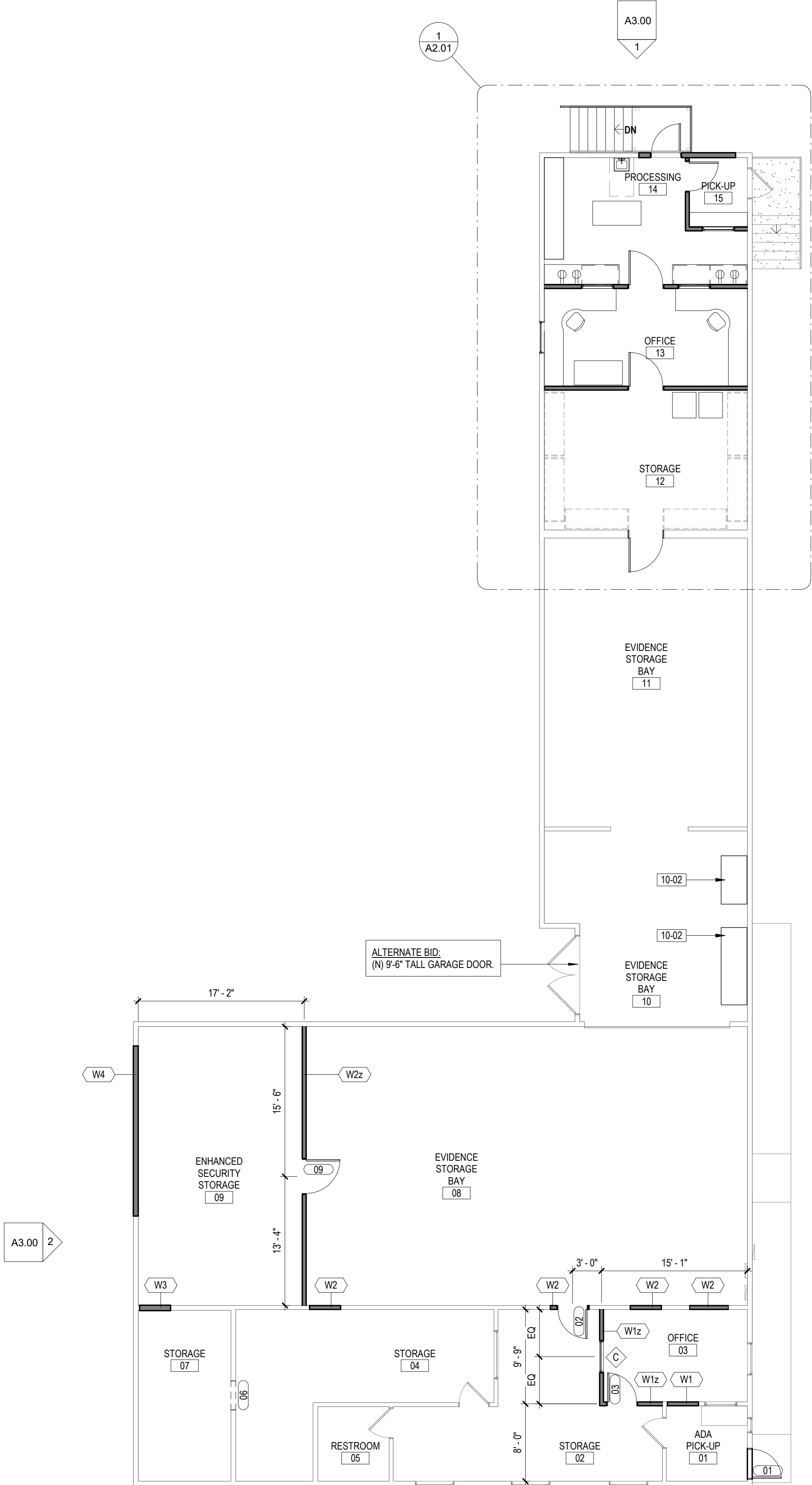
1/4" = 1'-0"

GENERAL DEMO NOTES

- A. WHERE DEMOLITION OF A WALL, ROOF OR FLOOR IS CALLED OUT, UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL REMOVE ELECTRICAL, GYP. BOARD, INSULATION, WINDOWS, FLOOR COVERING, PLUMBING, ETC. DOWN TO BARE STUDS AND ROOF TRUSSES. DISPOSE OF MATERIAL OFF SITE. CONTRACTOR TO MAKE SITE VISIT TO DETERMINE EXTENT OF DEMO.
- B. PRIOR TO BEGINNING ANY DEMOLITION AND SITE PREPARATION WORK, A SURVEY OF THE PROPOSED DEMOLITION SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE CONNECTIONS, FRAMING METHODS, AND CONDITIONS OF THE AREA TO BE DISMANTLED. THE CONTRACTOR SHALL NOTIFY VARITONE ARCHITECTURE, PRIOR TO PROCEEDING WITH DEMOLITION OF ANY CONDITION WHICH MIGHT CAUSE THE UNPLANNED COLLAPSE OF ANY PORTION OF THE BUILDING.
- C. ACCOUNT FOR ALL ELECTRICAL, GAS, WATER, SEWER AND OTHER UTILITY LINES THAT RUN THROUGH ANY AREA OF WORK TO BE DEMOLISHED. LINES SHALL BE CAPPED, SHUT OFF, OR PROTECTED AS REQUIRED.
- D. DETERMINE IF ANY TYPE OF HAZARDOUS CHEMICALS, FLAMMABLE MATERIAL, OR SIMILAR DANGEROUS SUBSTANCES, INCLUDING ASBESTOS, HAVE BEEN USED IN ANY PIPES, TANKS, EQUIPMENT, OR THE BUILDING STRUCTURE WHERE THE DEMOLITION WORK IS TO BE PERFORMED. WHEN THE PRESENCE OF SUCH SUBSTANCE IS APPARENT OR SUSPECT, TESTING AND PURGING SHALL BE PERFORMED AND THE HAZARD REMOVED OR ELIMINATED BEFORE DEMOLITION STARTS OR CONTINUES.
- E. ALL DEMOLITION MATERIALS SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH ALL LAWS AND REGULATIONS. CONTRACTOR TO PAY ALL DUMPING FEES. ALL ITEMS THE OWNER DESIRES TO SALVAGE IN THE AREAS OF DEMOLITION SHALL BE IDENTIFIED PRIOR TO DEMOLITION. CONTRACTOR SHALL REMOVE AND DELIVER TO OWNER THOSE ITEMS PREVIOUSLY IDENTIFIED.
- F. THE PUBLIC SHALL BE PROTECTED FROM DEMOLITION MATERIAL, DUST, FUMES, ETC. BY BARRIERS AND/OR PLASTIC SHEETS AS REQUIRED. DEMOLITION WORK SHALL CEASE IF THE PUBLIC IS ENDANGERED IN ANY WAY.
- G. LIST OF DEMOLITION TO BE ACCOMPLISHED IS NOT ALL INCLUSIVE. DEMOLITION IS TO INCLUDE REMOVAL & DISPOSAL OF ALL ITEMS REQUIRED TO COMPLETE REMODEL.
- H. ALL SURFACES AFFECTED BY DEMOLITION ARE TO BE PATCHED/REPAIR TO MATCH ADJACENT FINISHES OR PREPPED FOR NEW FINISHES.
- I. VERIFY AND COORDINATE ALL ROUGH OPENING DIMENSIONS AND REQUIREMENTS FOR DOORS AND WINDOWS.
- J. COORDINATE PARTIAL REMOVAL OF EXTERIOR WALL FOR NEW WINDOW OR DOOR PLACEMENTS.



1 DEMOLITION PLAN
1/8" = 1'-0" REF. FROM 1 / A3.00



2 FLOOR PLAN
1/8" = 1'-0" REF. FROM 1 / A3.00

GENERAL NOTES:

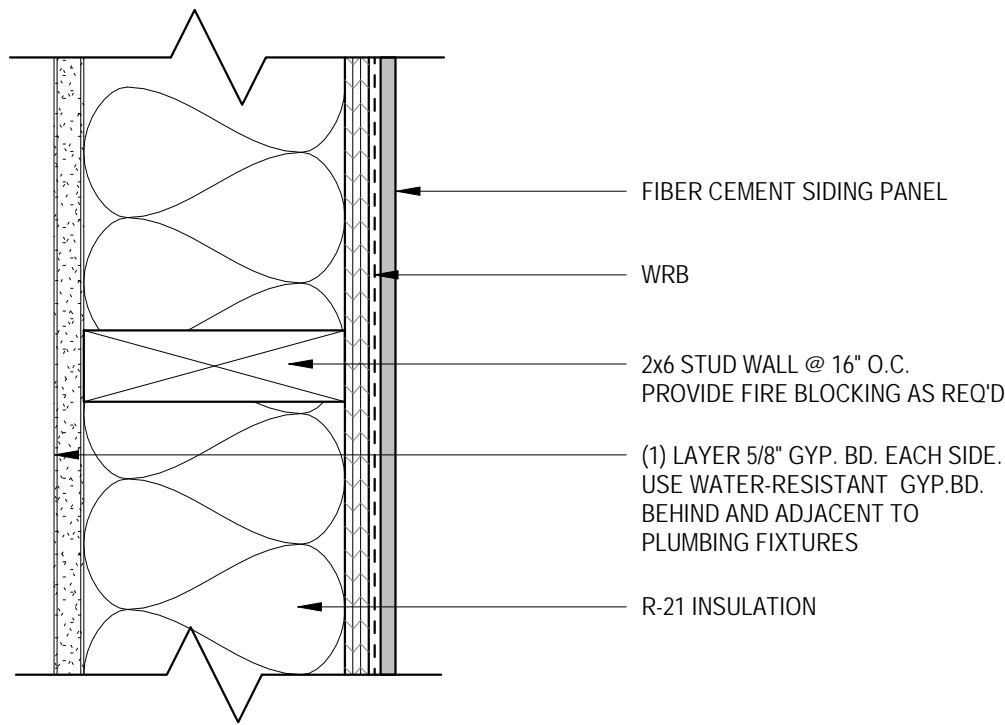
1. DIMENSIONS ARE TO CENTER OF NEW WALLS OR FINISH FACE OF EXISTING WALLS.

LEGEND:

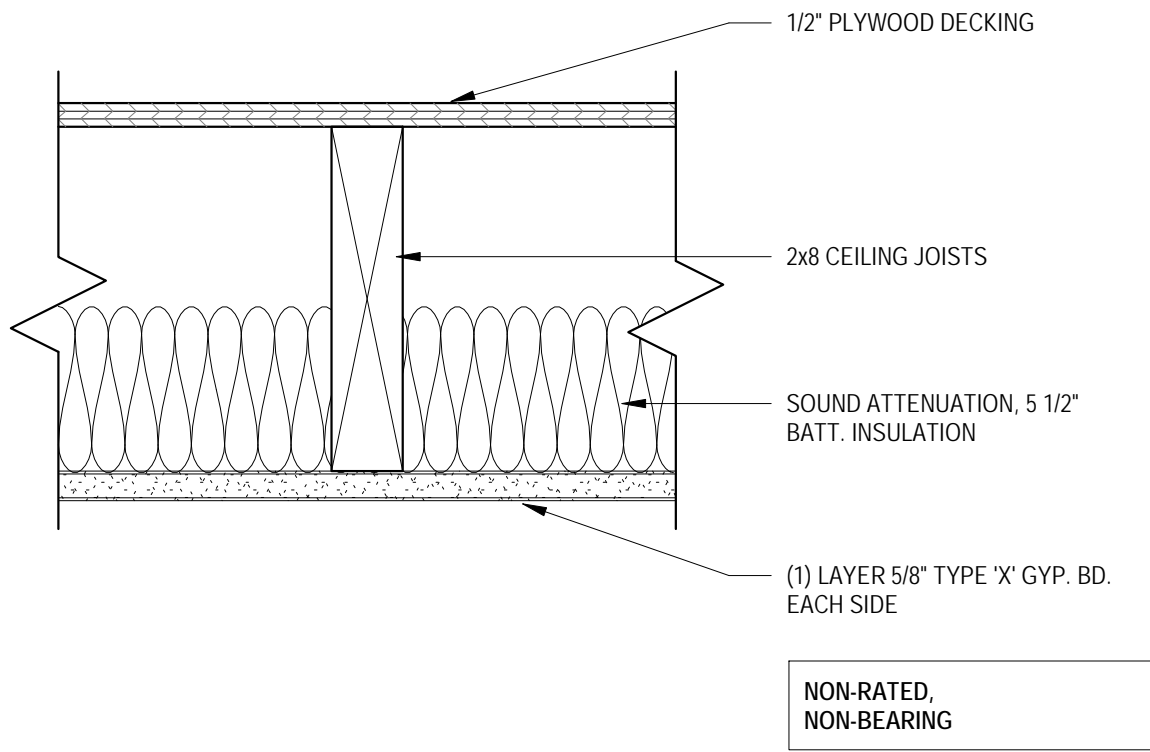
- NEW DOOR
- NEW WALL
- EXISTING DOOR
- EXISTING WALL
- DOOR TO BE REMOVED
- WALL TO BE REMOVED
- AREA OF CONCRETE SLAB TO BE REMOVED
- WALL TAG
- WINDOW TAG
- DOOR TAG

KEYNOTE LEGEND

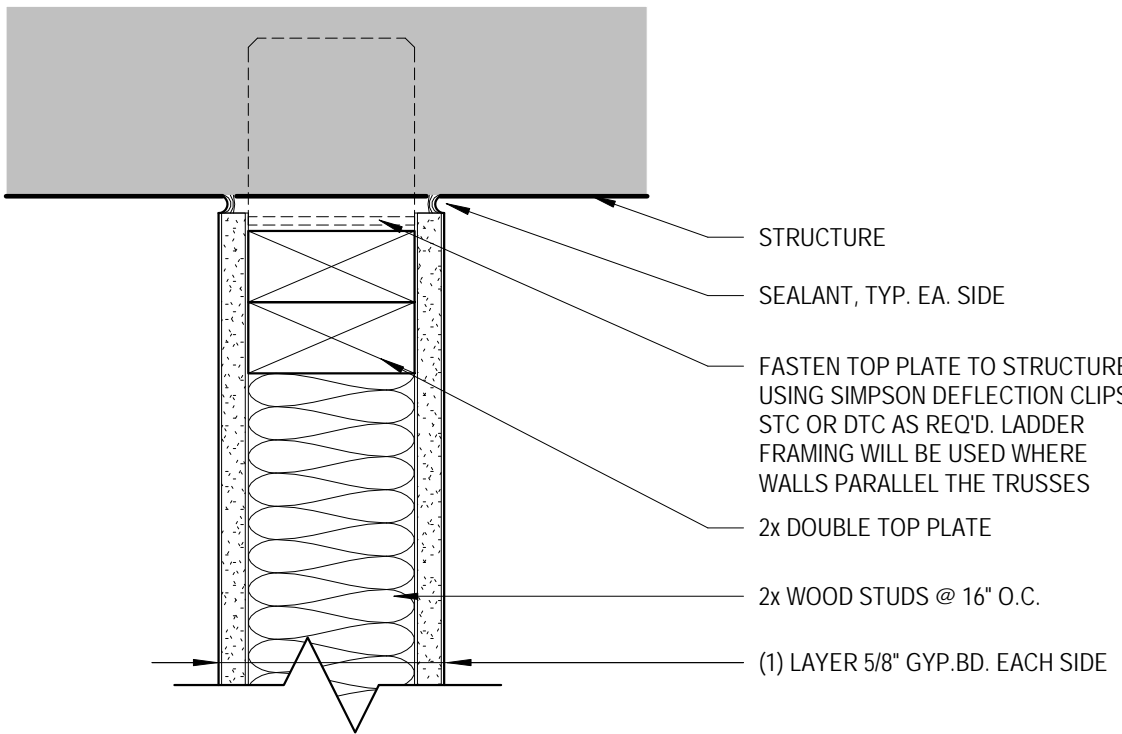
#	Keynote Description
02-01	REMOVE (E) WALL
02-02	REMOVE (E) INTERIOR DOOR & FRAME
02-03	REMOVE (E) INTERIOR WINDOW & FRAME
02-04	REMOVE (E) ROLL-UP EXTERIOR GARAGE DOOR
02-05	REMOVE PORTION OF EXISTING WALL FOR FUTURE DOOR
02-06	REMOVE PORTION OF EXISTING WALL FOR FUTURE OPENING
10-02	(E) DRYING LOCKERS



W4 EXTERIOR PARTITION
3" = 1'-0"

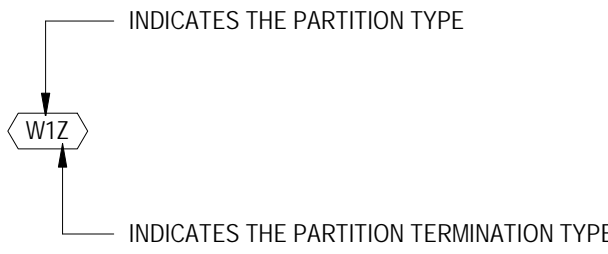


C1 CEILING PARTITION
3" = 1'-0"

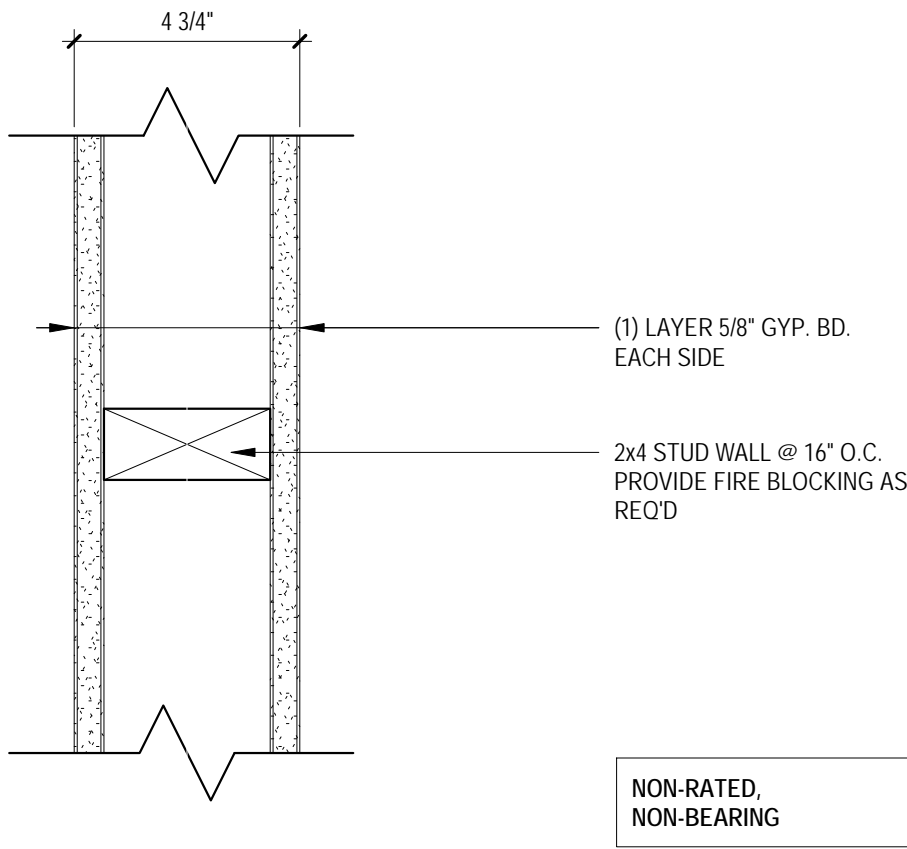


Z PARTITION TERMINATION - Z
3" = 1'-0"

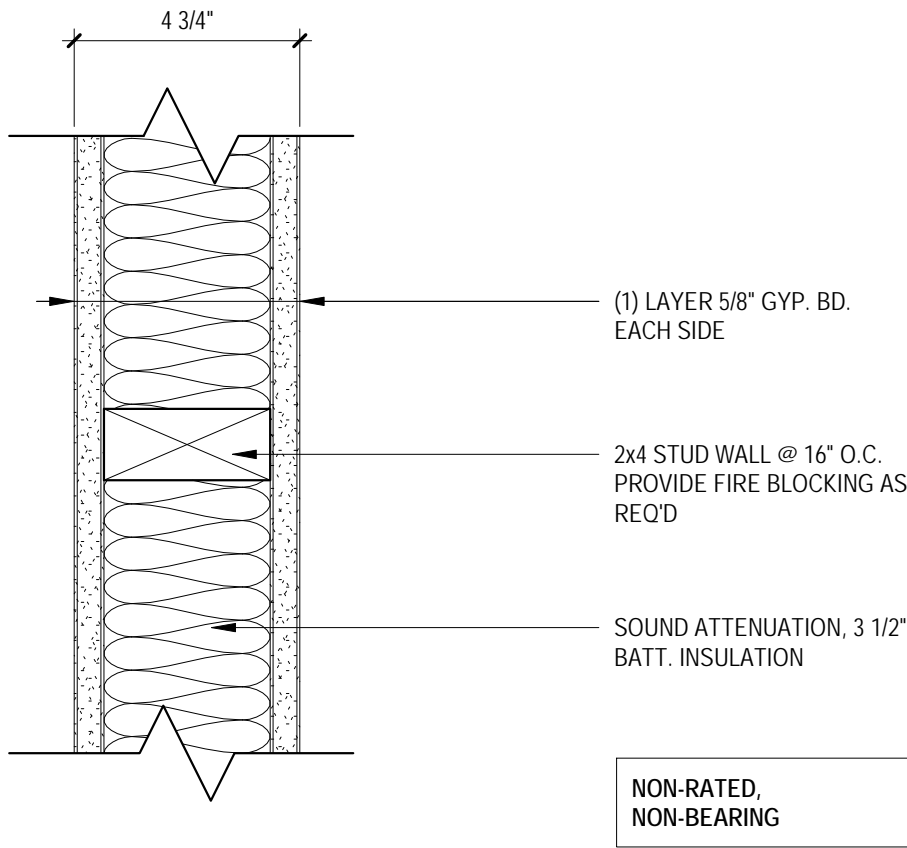
WALL TYPE SYMBOL:



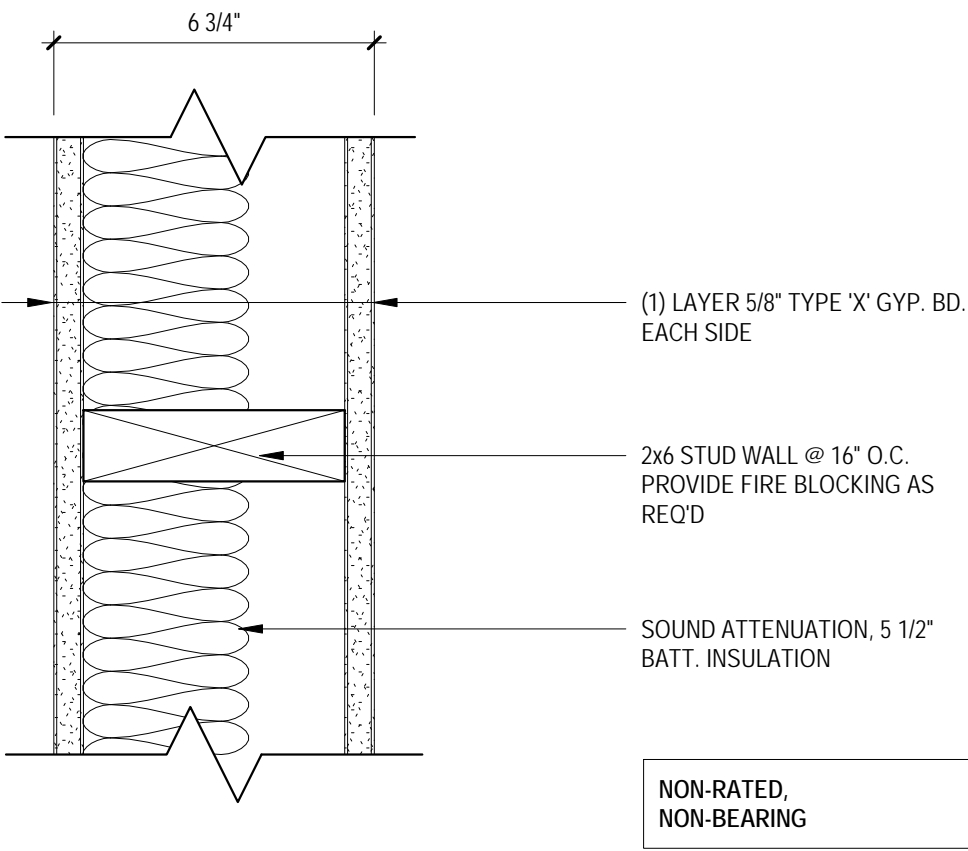
WALL TYPE NOTES:



W1 INTERIOR PARTITION
3" = 1'-0"



W2 INTERIOR PARTITION
3" = 1'-0"



W3 INTERIOR PARTITION
3" = 1'-0"



231 2nd Avenue SW
Albany, Oregon 97321
Ph: 541.497.2954

LINN COUNTY SHERIFF'S DEPT.
EVIDENCE STORAGE

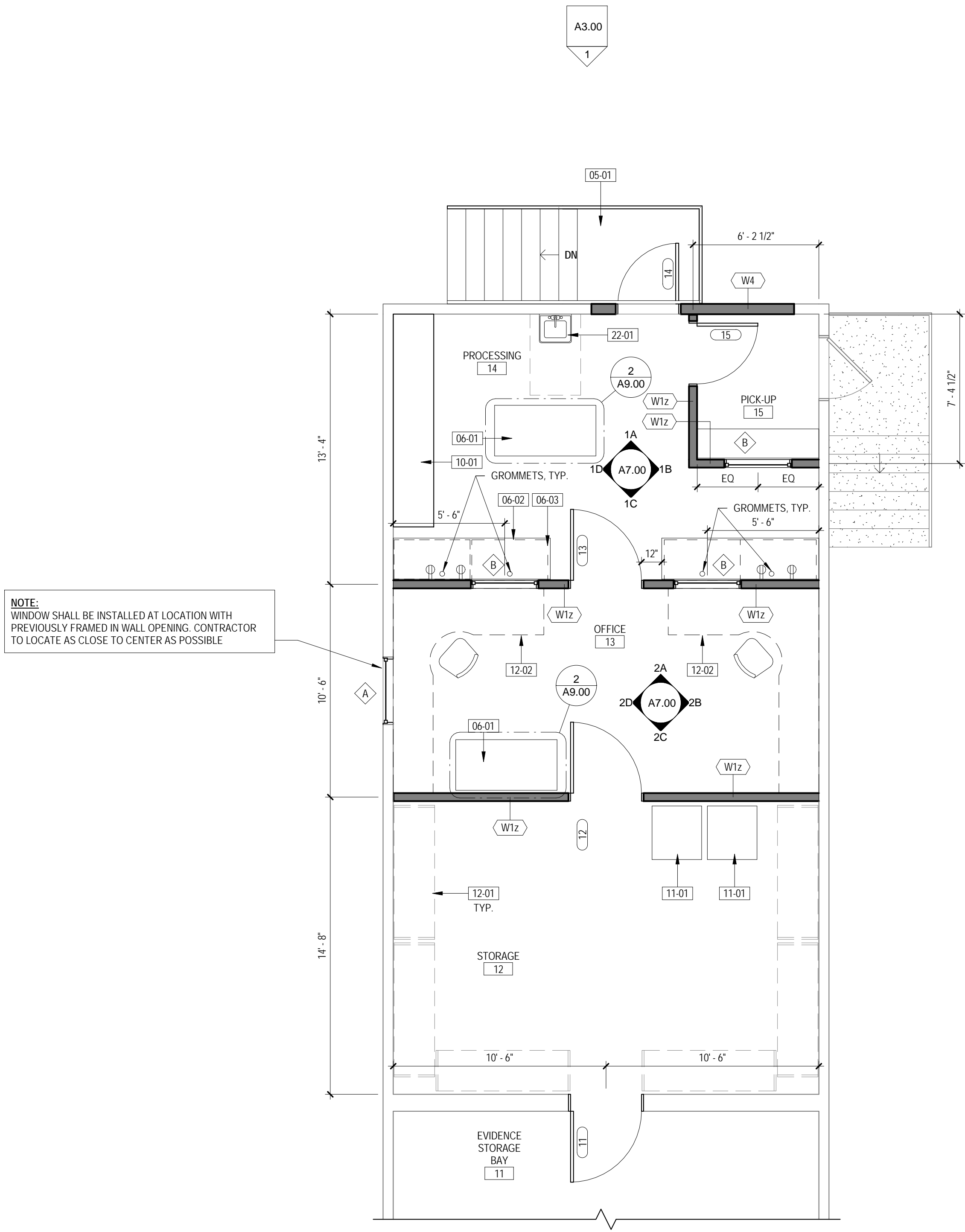
1050 SE JACKSON ST. ALBANY, OREGON

Issue: CD SET
Date: 12/22/17

Revision: Date:

PARTITION
ASSEMBLIES

A0.05



1 ENLARGED FLOOR PLAN
1/4" = 1'-0" REF. FROM 2 / A2.00

GENERAL NOTES:

- DIMENSIONS ARE TO CENTER OF NEW WALLS OR FINISH FACE OF EXISTING WALLS.

LEGEND:

- NEW DOOR
- NEW WALL
- EXISTING DOOR
- EXISTING WALL
- DOOR TO BE REMOVED
- WALL TO BE REMOVED
- AREA OF CONCRETE SLAB TO BE REMOVED
- WALL TAG
- WINDOW TAG
- DOOR TAG

KEYNOTE LEGEND

#	Keynote Description
05-01	PRE-MANUFACTURED METAL STAIRS & RAILING
06-01	30" X 60" MOVABLE PLASTIC LAMINATE CABINET WITH CASTERS
06-02	PLASTIC LAMINATE COUNTERTOP
06-03	PLASTIC LAMINATE BASE CABINETS
10-01	EVIDENCE STORAGE LOCKERS
11-01	REFRIGERATOR, OFOI
12-01	SHELVING, OFOI
12-02	DESKS, OFOI
22-01	WALL MOUNTED SINK WITH INTEGRATED EYEWASH ATTACHMENT AT GOOSENECK FAUCET.

LINN COUNTY SHERIFF'S DEPT.
EVIDENCE STORAGE

1050 SE JACKSON ST. ALBANY, OREGON

Issue: CD SET
Date: 12/22/17

Revision: Date:

ENLARGED
FLOOR PLAN

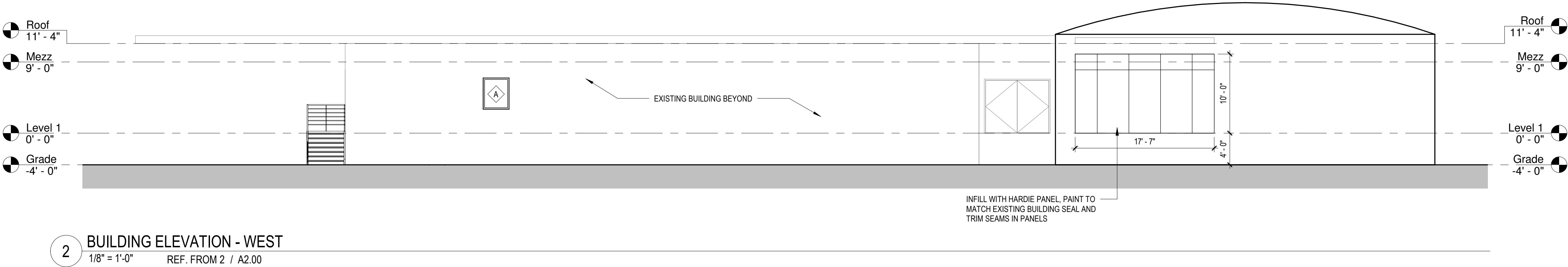
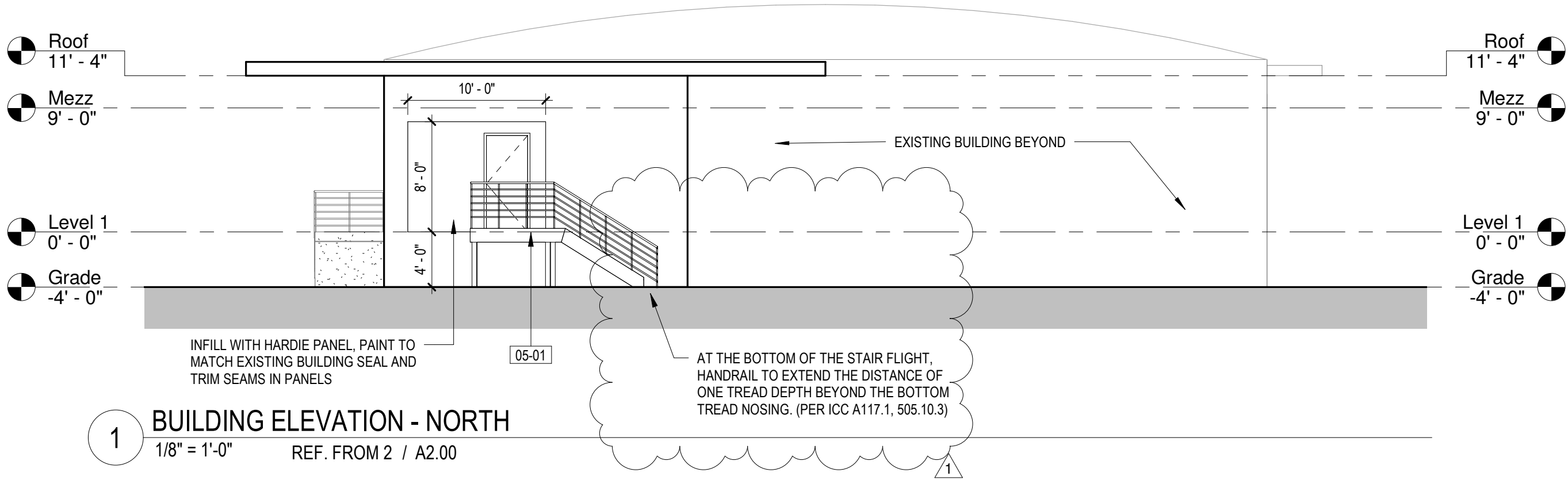
A2.01

EXTERIOR FINISH LEGEND:

A	LOCATION:	FINISH COLOR: TBD
B	LOCATION:	FINISH COLOR: TBD
C	LOCATION:	FINISH COLOR: TBD
D	LOCATION:	FINISH COLOR: TBD

KEYNOTE LEGEND

#	Keynote Description
05-01	PRE-MANUFACTURED METAL STAIRS & RAILING



231 2nd Avenue SW
Albany, Oregon 97321
Ph: 541.497.2954

LINN COUNTY SHERIFF'S DEPT.
EVIDENCE STORAGE

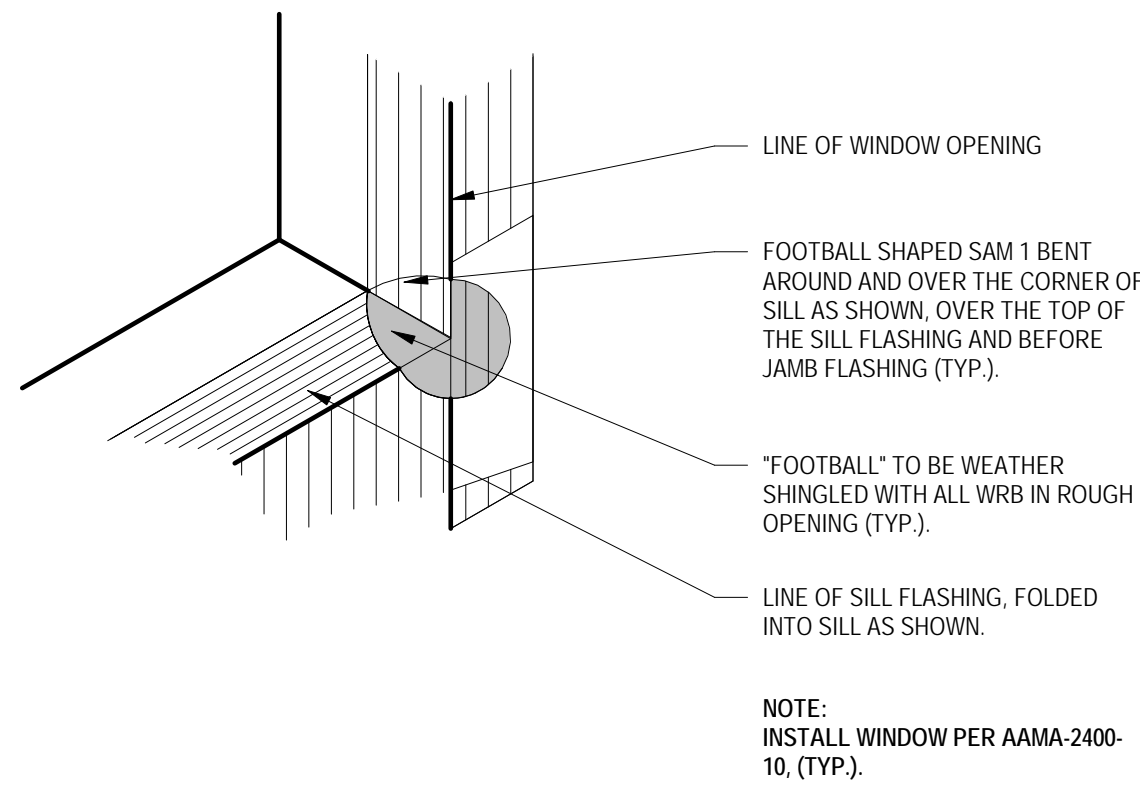
1050 SE JACKSON ST. ALBANY, OREGON

Issue: CD SET
Date: 12/22/17

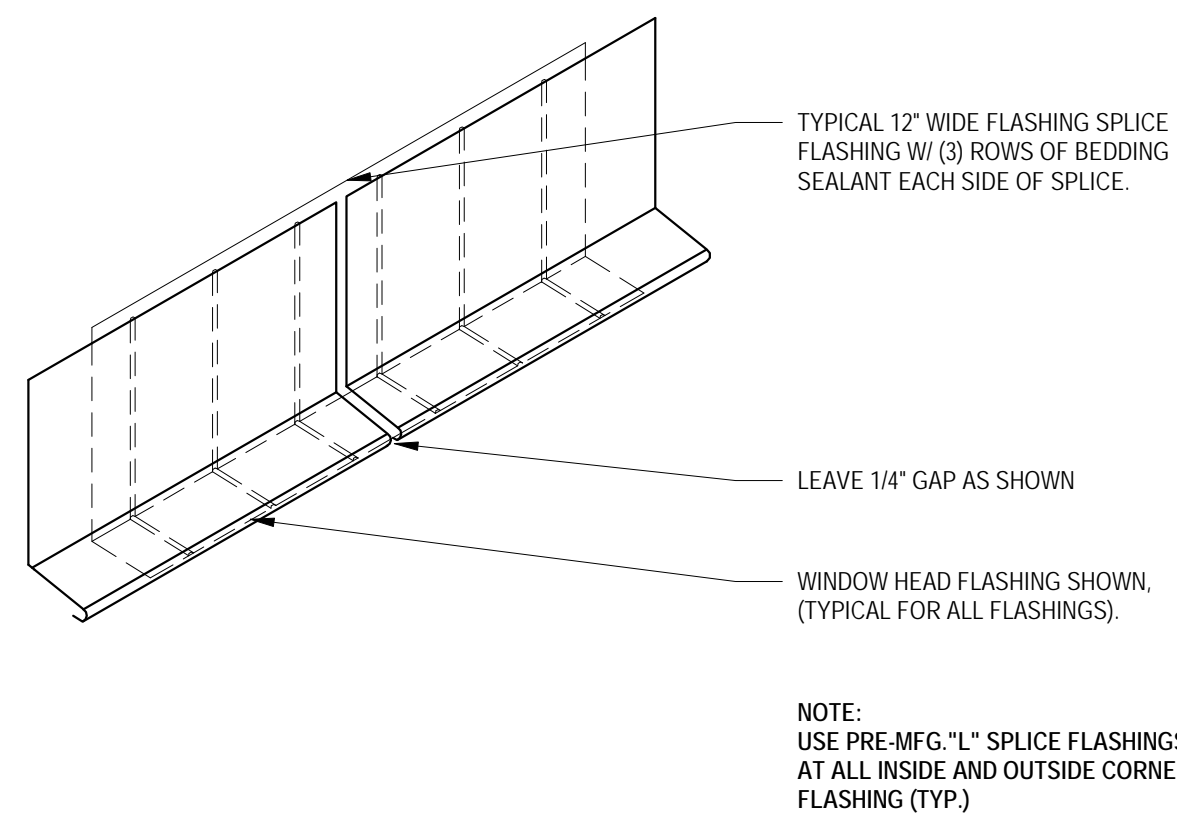
Revision: Date:
1 Addendum 1 01-27-20

EXTERIOR
ELEVATIONS

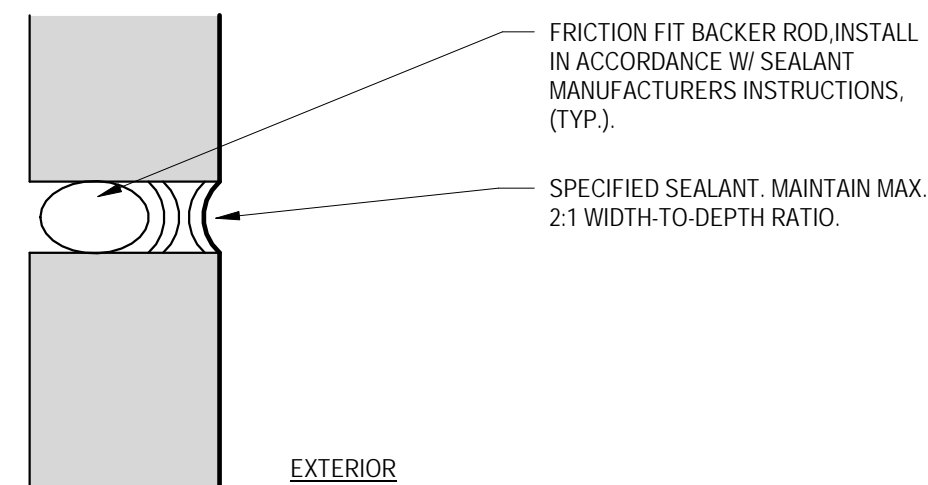
A3.00



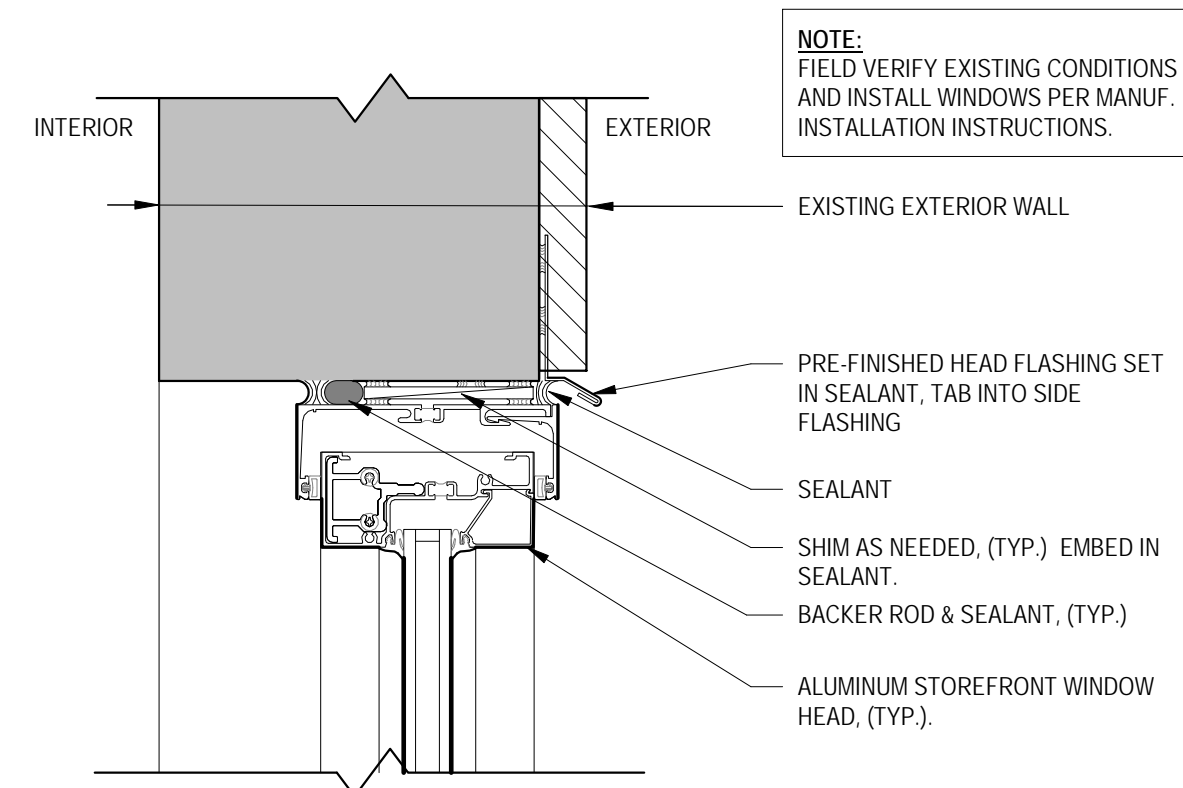
7 WINDOW SILL FOOTBALL CORNER FLASHING
3" = 1'-0"



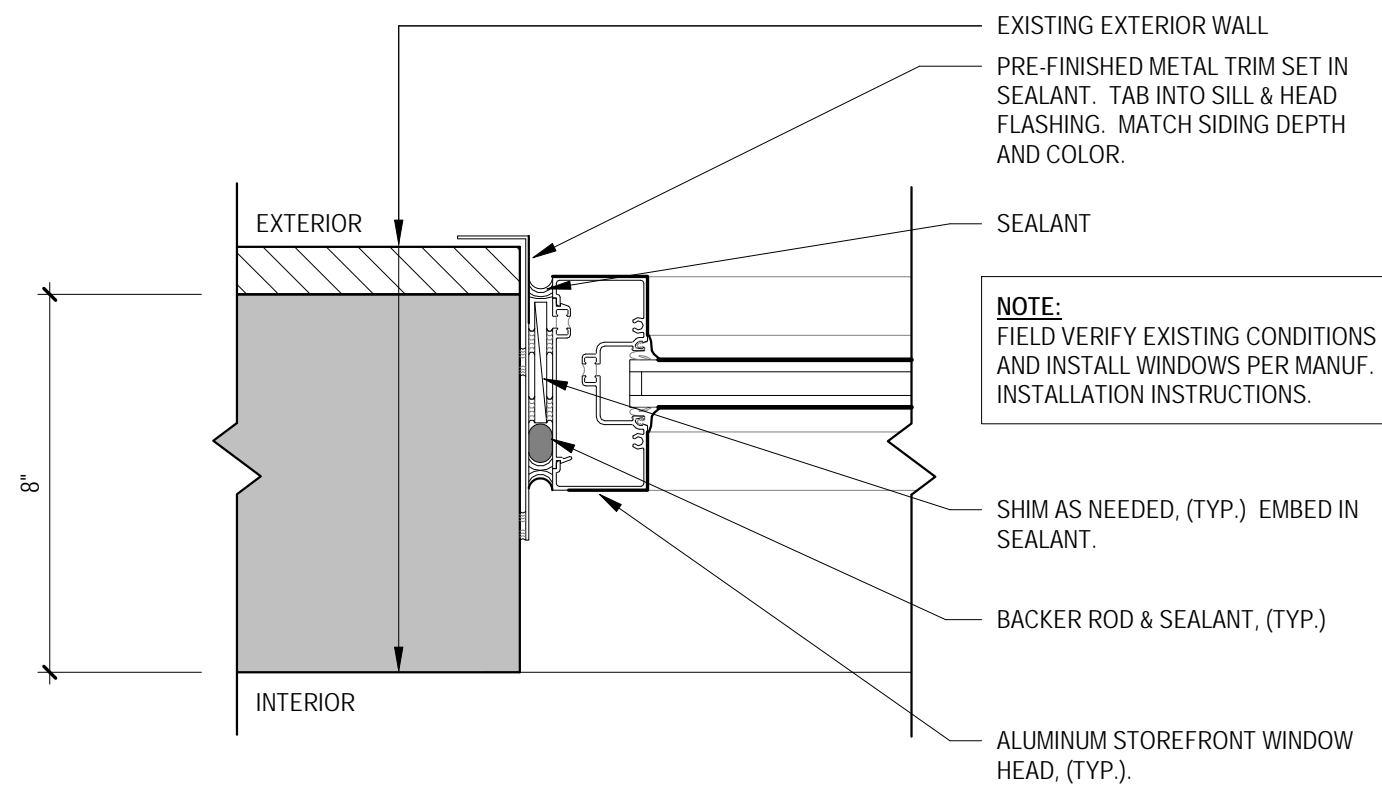
8 WINDOW FLASHING SPlice PLATE
3" = 1'-0"



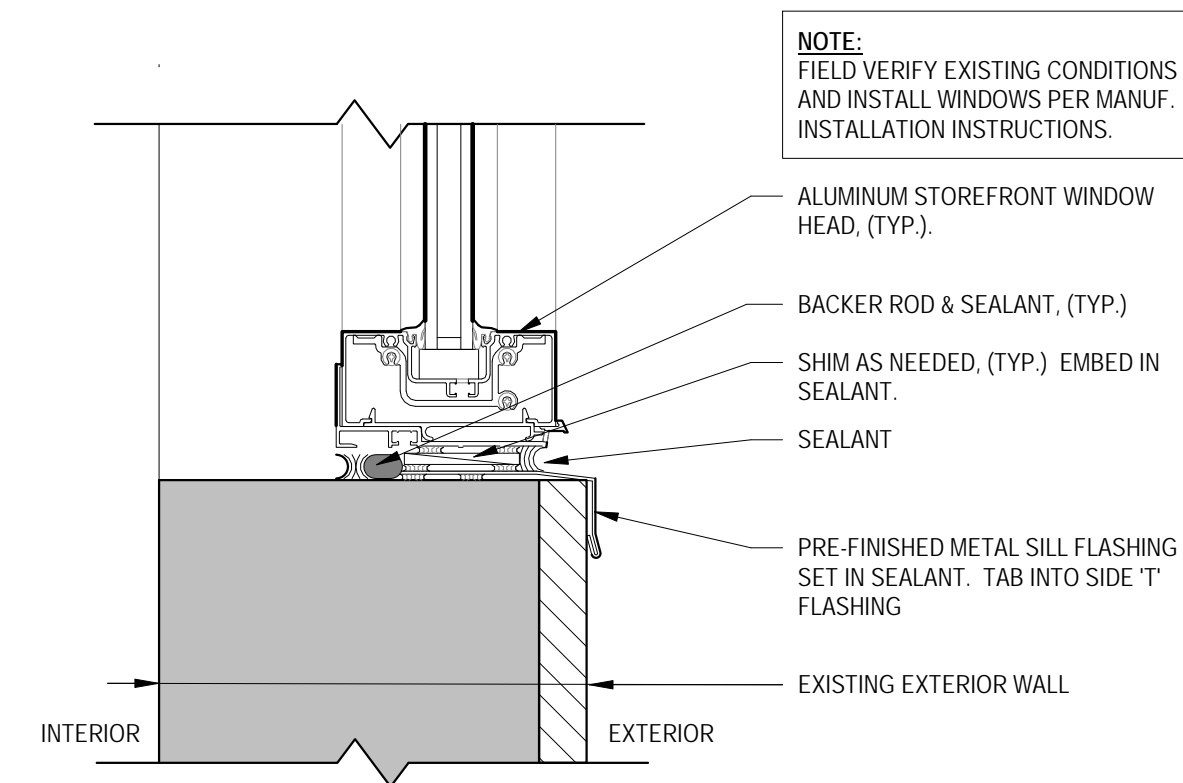
9 TYP. BACKER ROD AND SEALANT DETAIL
12" = 1'-0"



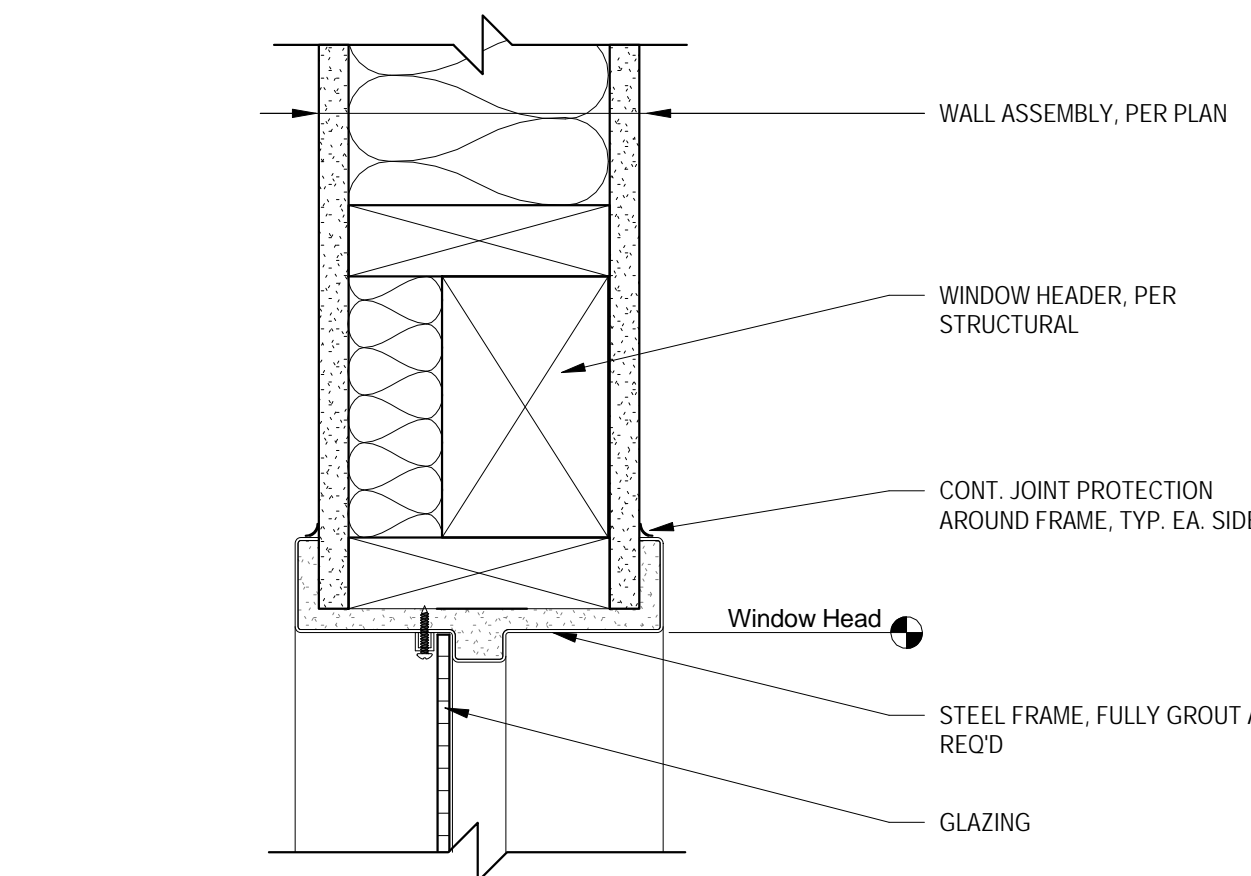
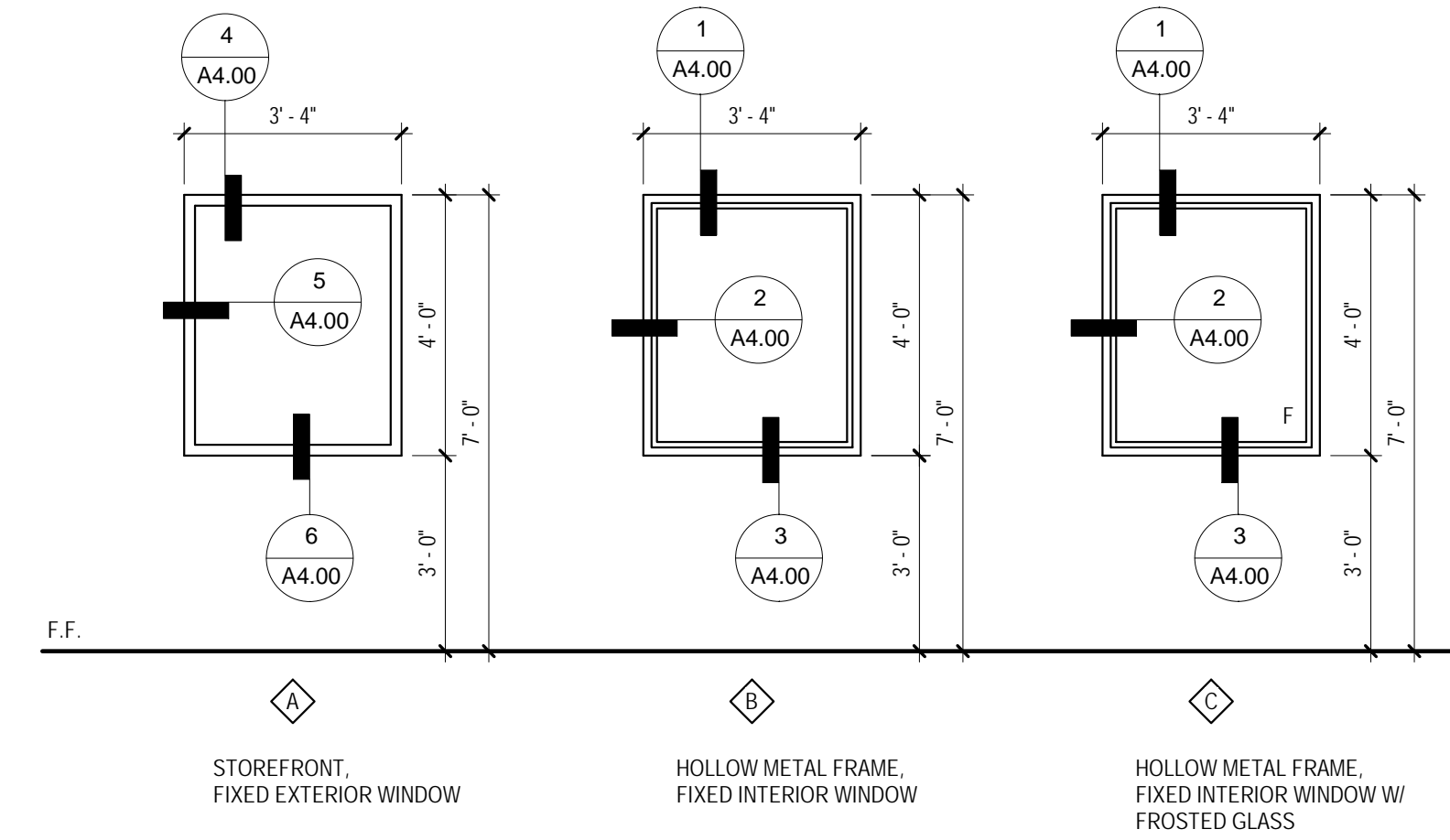
4 STOREFRONT WINDOW - HEAD DETAIL
3" = 1'-0" REF. FROM 10 / A4.00



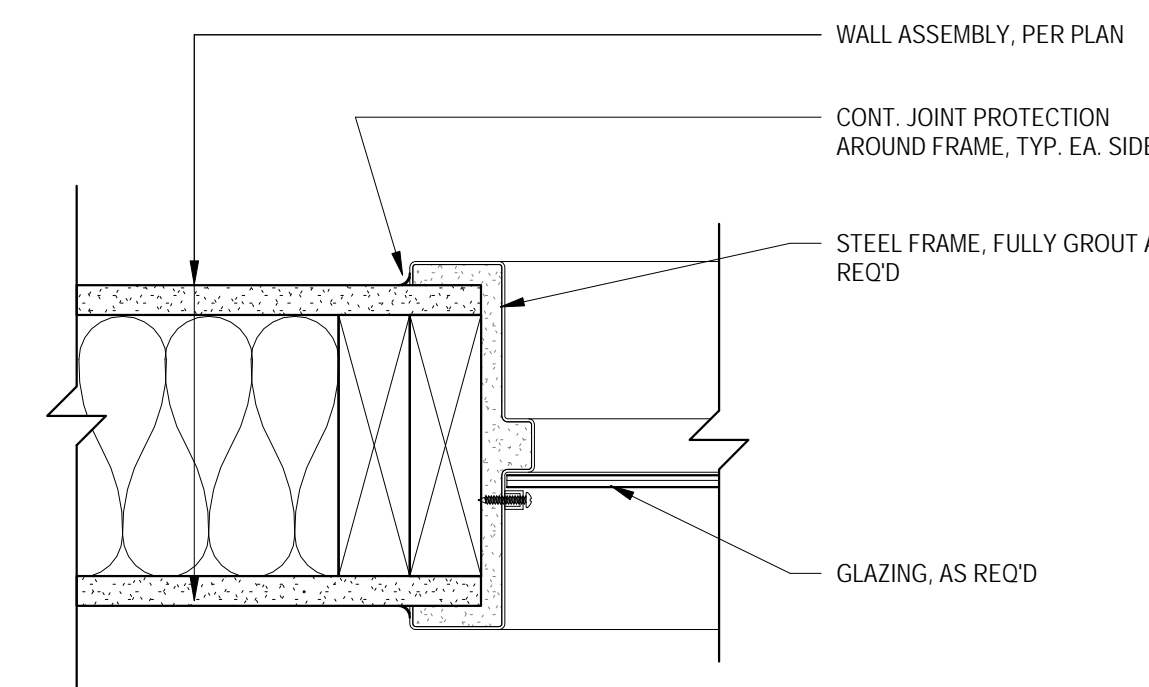
5 STOREFRONT WINDOW - JAMB DETAIL
3" = 1'-0" REF. FROM 10 / A4.00



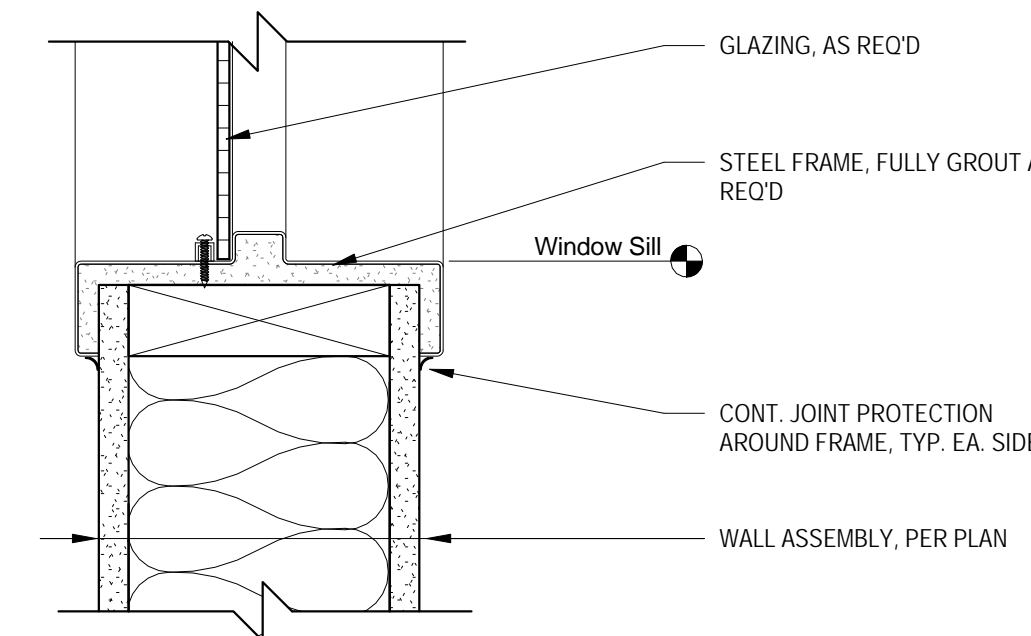
6 STOREFRONT WINDOW - SILL DETAIL
3" = 1'-0" REF. FROM 10 / A4.00



1 INT. HM WINDOW FRAME - HEAD DETAIL
3" = 1'-0" REF. FROM 10 / A4.00



2 INT. HM WINDOW FRAME - JAMB DETAIL
3" = 1'-0" REF. FROM 10 / A4.00



3 INT. HM WINDOW FRAME - SILL DETAIL
3" = 1'-0" REF. FROM 10 / A4.00

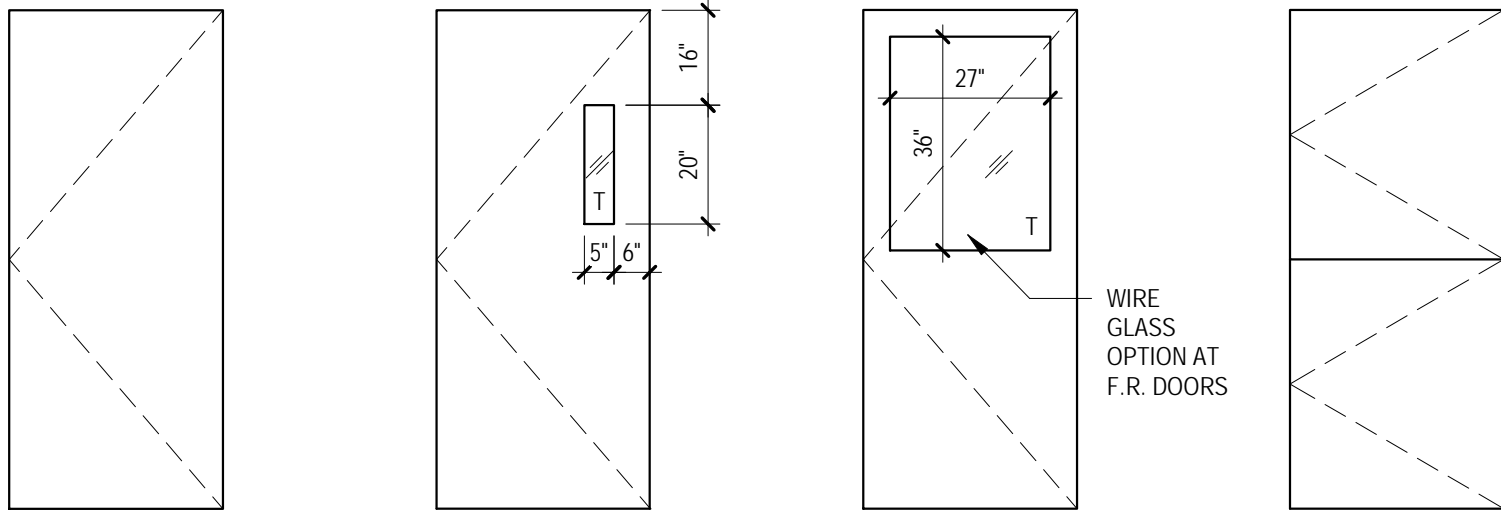
DOOR SCHEDULE													
Door No.	Location	Width	Height	Door Type	Door Material	Door Finish	Frame Type	Frame Material	Frame Finish	Hardware Group	Fire Rating	Door Details	Door Notes
01	ADA PICK-UP	3'-0"	7'-0"	A	HM	PAINT	A	HM	PAINT	1	-	3, 4, 5 / A4.01	
02	STORAGE	3'-0"	7'-0"	B	SCWD	PAINT	A	HM	PAINT	2	-	1, 2 / A4.01	
03	OFFICE	3'-0"	7'-0"	C	SCWD	PAINT	A	HM	PAINT	2	-	1, 2 / A4.01	WALL STOP
06	STORAGE	3'-0"	7'-0"	OPENING	-	-	-	-	-	2	-	-	
09	ENHANCED SECURITY STORAGE	3'-6"	7'-0"	A	SCWD	PAINT	A	HM	PAINT	2	-	1, 2 / A4.01	
11	EVIDENCE STORAGE BAY	3'-6"	7'-0"	B	SCWD	PAINT	A	HM	PAINT	2	-	1, 2 / A4.01	
12	STORAGE	3'-6"	7'-0"	D	SCWD	PAINT	A	HM	PAINT	2	-	1, 2 / A4.01	
13	OFFICE	3'-6"	7'-0"	D	SCWD	PAINT	A	HM	PAINT	2	-	1, 2 / A4.01	
14	PROCESSING	3'-0"	7'-0"	A	HM	PAINT	A	HM	PAINT	1	-	3, 4, 5 / A4.01	
15	PICK-UP	3'-0"	7'-0"	A	SCWD	PAINT	A	HM	PAINT	2	-	1, 2 / A4.01	WALL STOP

DOOR HARDWARE TYPES:

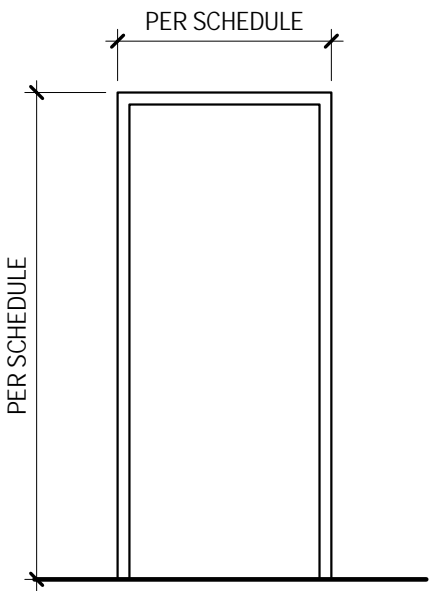
- GROUP 1

 - 3 EA. HINGES
 - 1 EA. ENTRY LOCKSET
 - 1 EA. THRESHOLD
 - 1 EA. SWEEP
 - 1 EA. GASKET
 - 1 EA. CLOSER
 - ACCESS CONTROL PER OWNERS SPEC
- GROUP 2

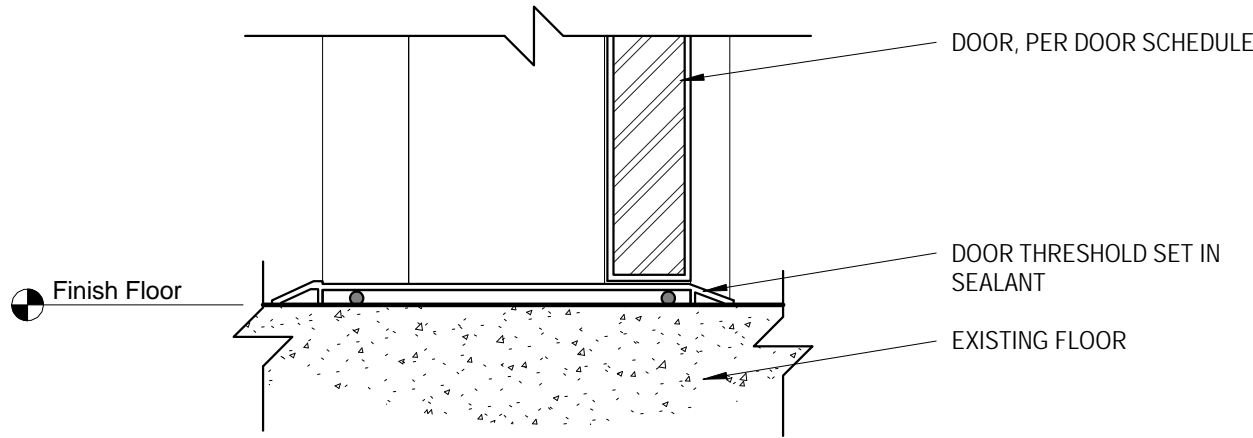
 - 3 EA. HINGES
 - 1 EA. PASSAGE LOCKSET
 - 1 EA. OVERHEAD STOP/CLOSER, U.O.N.
 - 1 EA. GASKET
 - 3 EA. SILENCERS
 - ACCESS CONTROL PER ONWNERS SPEC



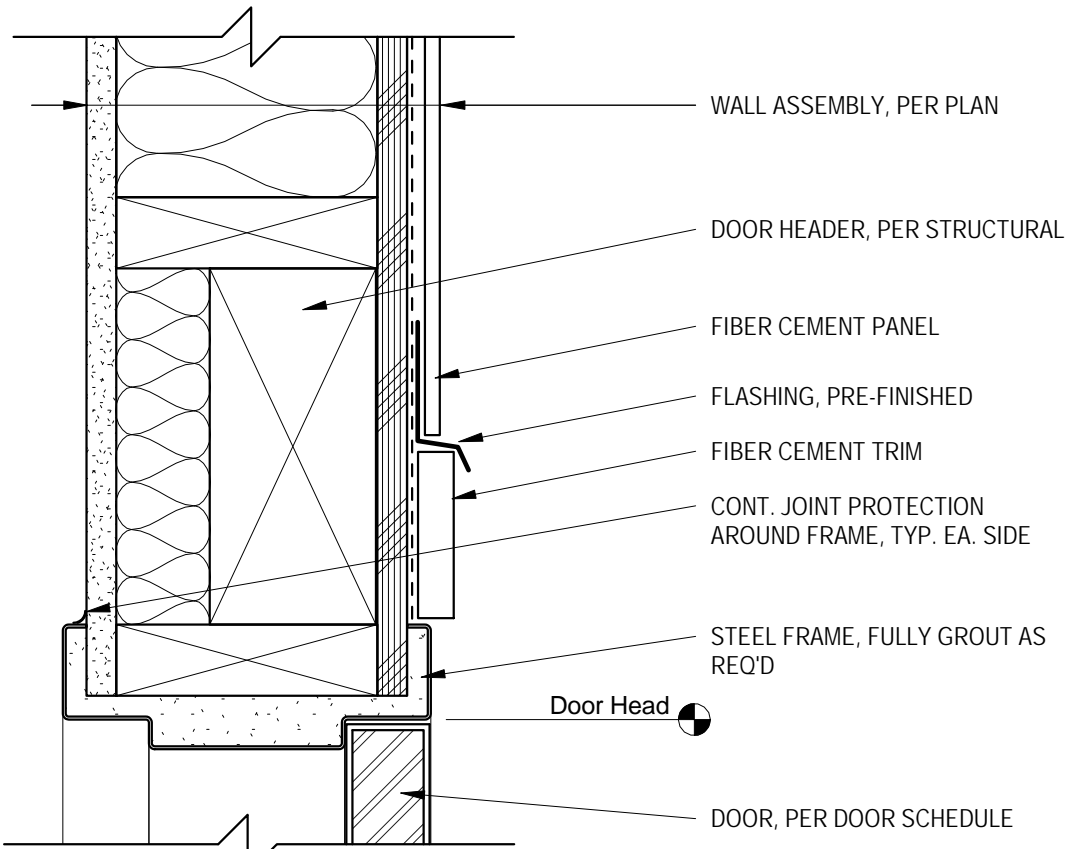
DOOR TYPES
3/8" = 1'-0"



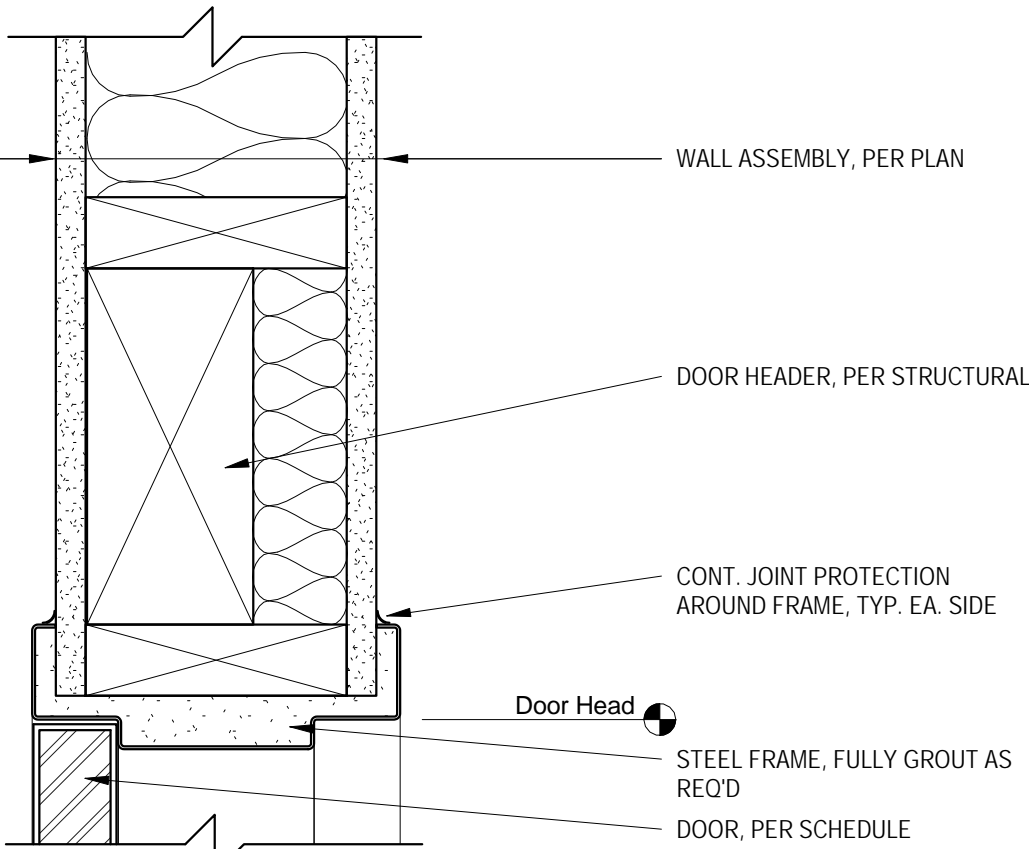
DOOR FRAME TYPES
3/8" = 1'-0"



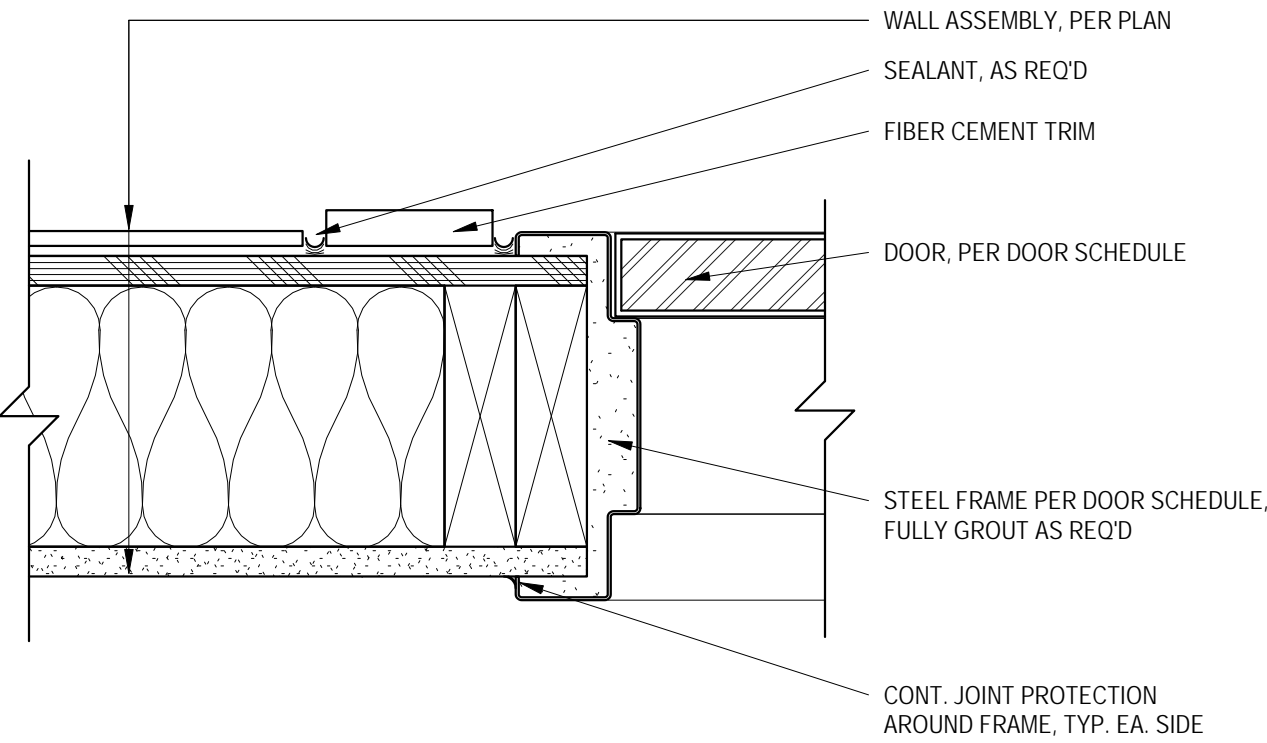
5 EXT. HM DOOR FRAME - SILL DETAIL
3" = 1'-0"



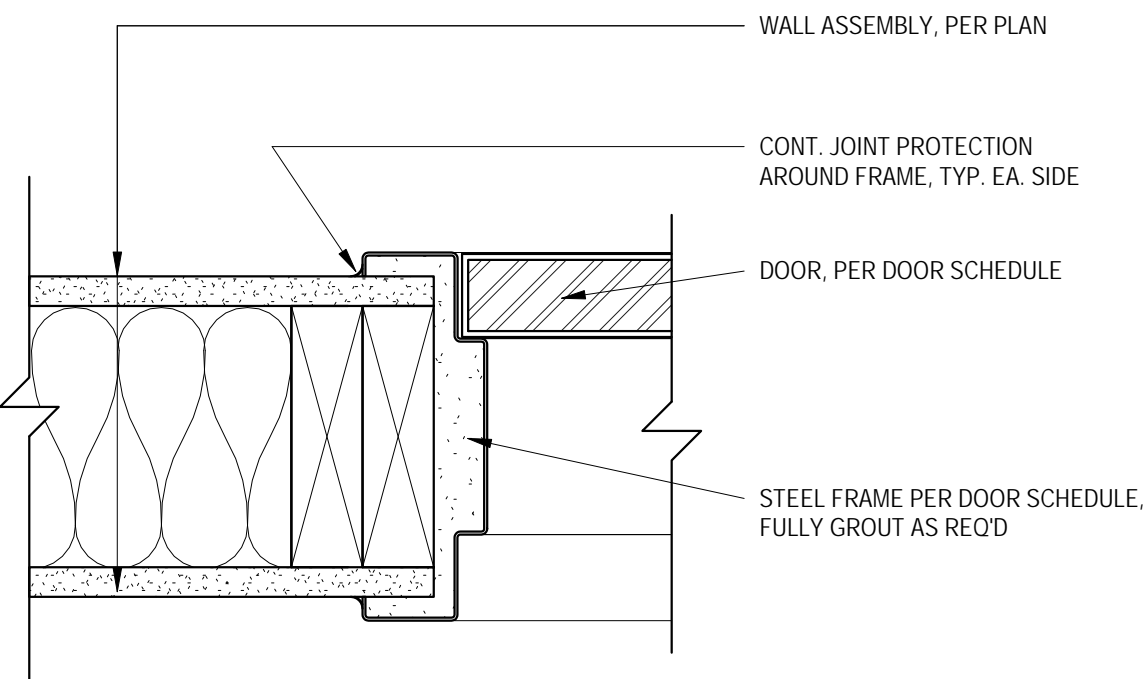
3 EXT. HM DOOR FRAME - HEAD DETAIL
3" = 1'-0"



1 INT. HM DOOR FRAME - HEAD DETAIL
3" = 1'-0"



4 EXT. HM DOOR FRAME - JAMB DETAIL
3" = 1'-0"



2 INT. HM DOOR FRAME - JAMB DETAIL
3" = 1'-0"



231 2nd Avenue SW
Albany, Oregon 97321
Ph: 541.497.2954

LINN COUNTY SHERIFF'S DEPT.
EVIDENCE STORAGE

1050 SE JACKSON ST. ALBANY, OREGON

Issue: CD SET
Date: 12/22/17

Revision: Date:

DOOR TYPES, DETAILS & SCHEDULE

A4.01

LINN COUNTY SHERIFF'S DEPT.
EVIDENCE STORAGE

1050 SE JACKSON ST. ALBANY, OREGON

Issue: CD SET
Date: 12/22/17

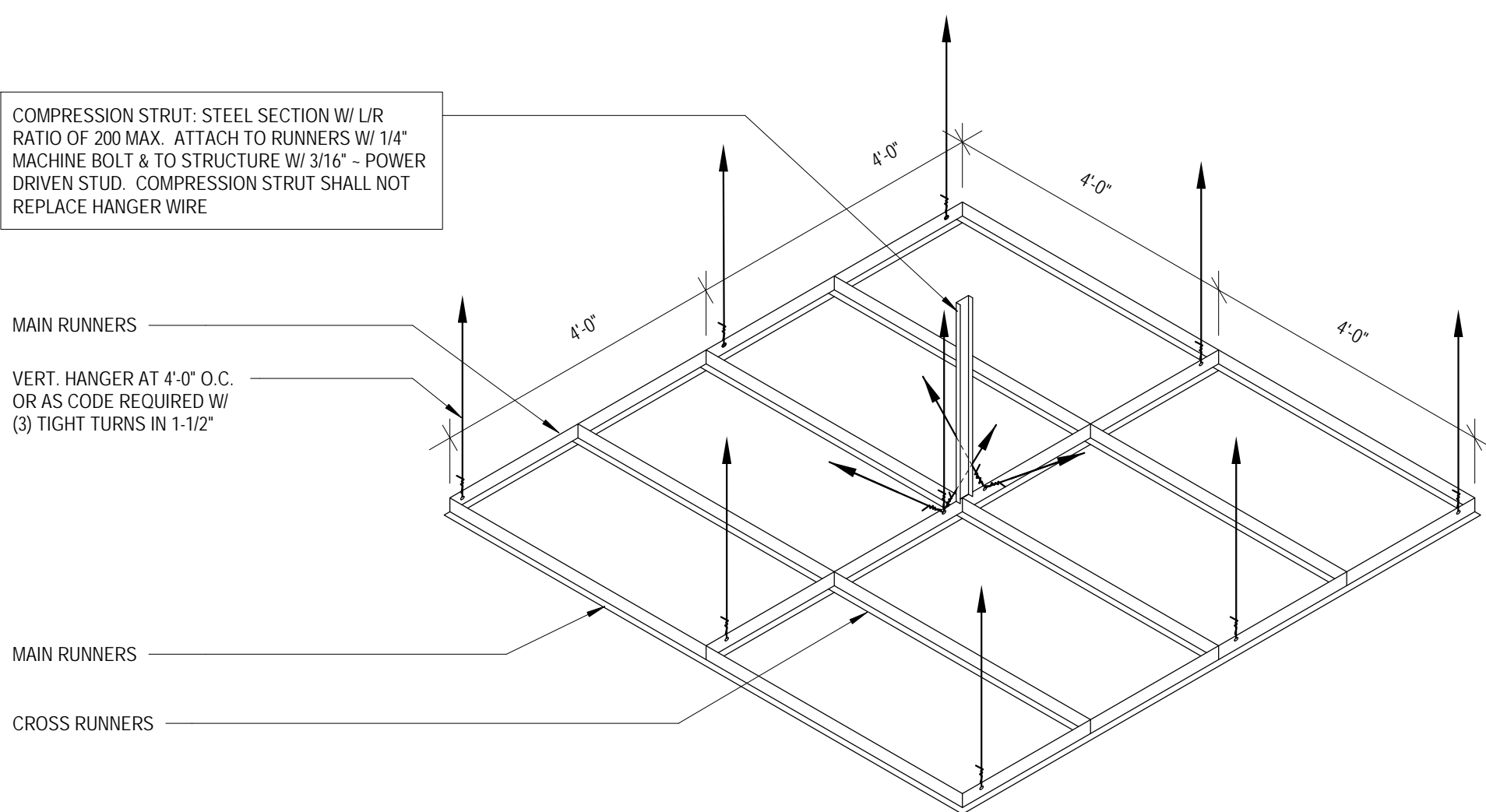
Revision: Date:

REFLECTED
CEILING
PLAN

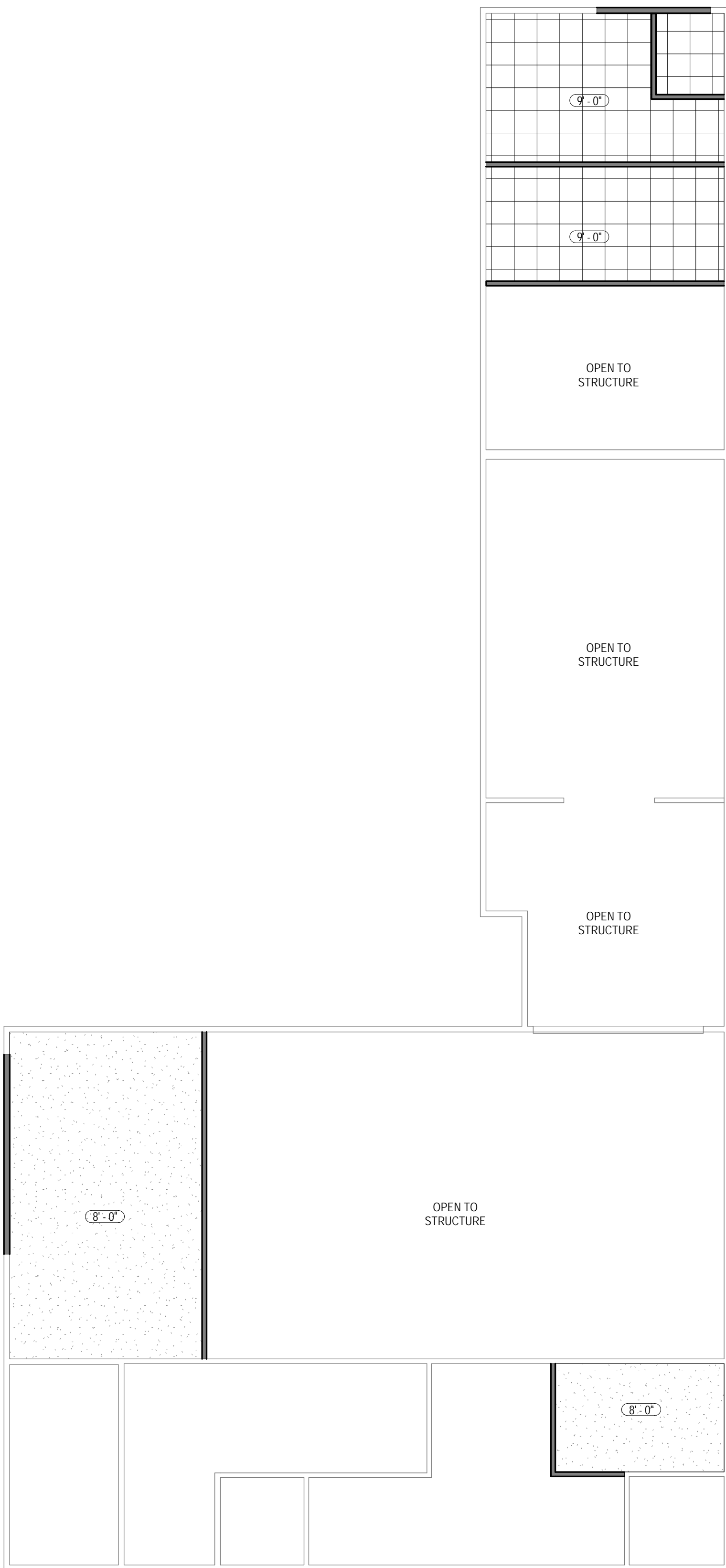
A6.00

LEGEND:

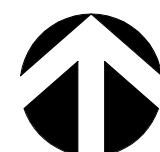
- RECESSED DOWNLIGHT
- RECESSED 2x2 LIGHT FIXTURE
- RECESSED 2x4 LIGHT FIXTURE
- WALL MOUNT LIGHT FIXTURE
- SURFACE MOUNT LIGHT FIXTURE
- SUPPLY AIR DIFFUSER
- RETURN AIR DIFFUSER
- 2' X 4' SECOND LOOK ACOUSTIC CEILING TILE (ACT), SEE REFLECTED CEILING PLAN FOR HEIGHT AFF.
- GYP.BD. DROP CEILING, SEE REFLECTED CEILING PLAN FOR HEIGHT AFF.



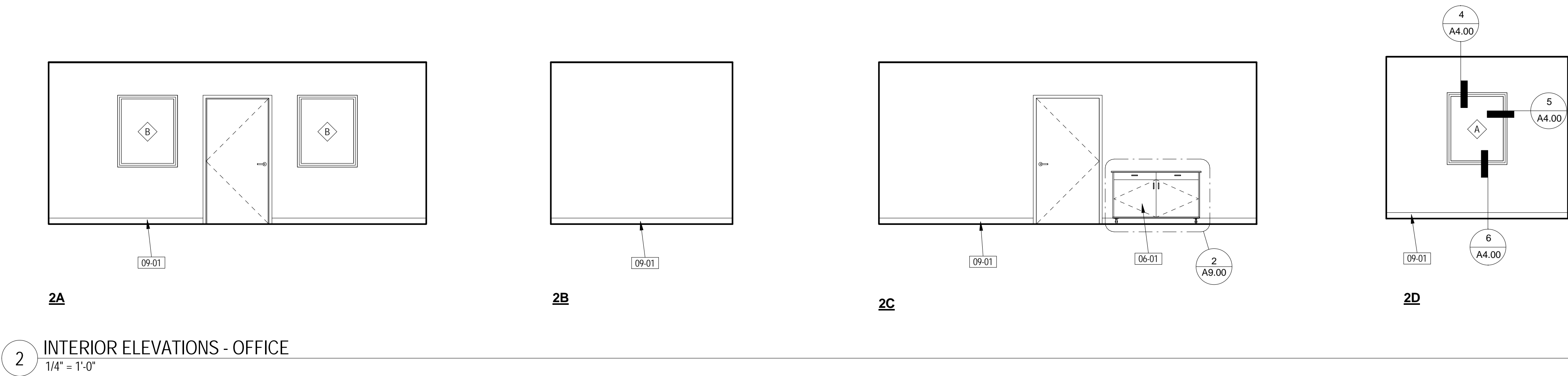
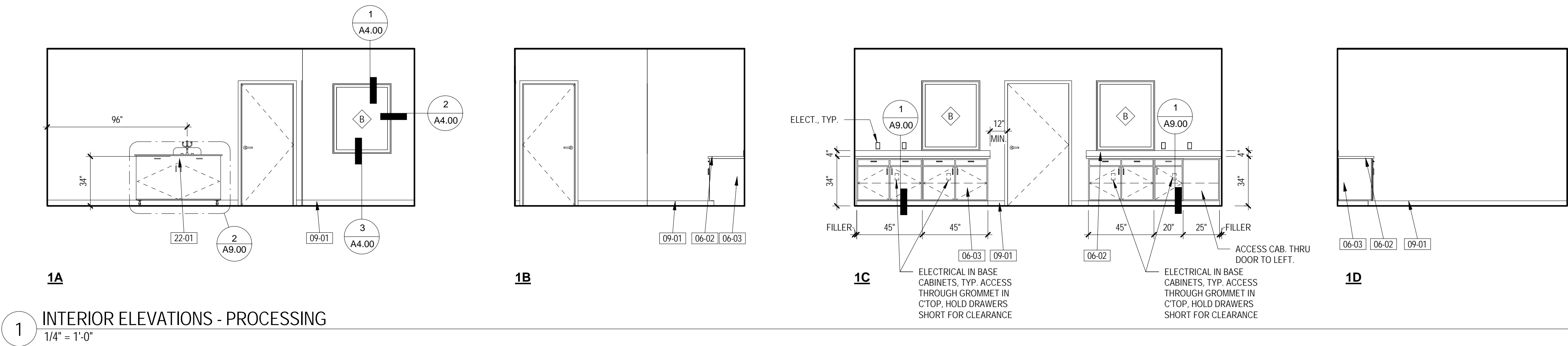
2 T-BAR CEILING DETAIL
1/2" = 1'-0"



1 REFLECTED CEILING PLAN
1/8" = 1'-0" REF. FROM 1 / A3.00



KEYNOTE LEGEND	
#	Keynote Description
06-01	30" X 60" MOVABLE PLASTIC LAMINATE CABINET WITH CASTERS
06-02	PLASTIC LAMINATE COUNTERTOP
06-03	PLASTIC LAMINATE BASE CABINETS
09-01	4" RESILIENT BASE
22-01	WALL MOUNTED SINK WITH INTEGRATED EYEWASH ATTACHMENT AT GOOSENECK FAUCET.



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EVIDENCE STORAGE

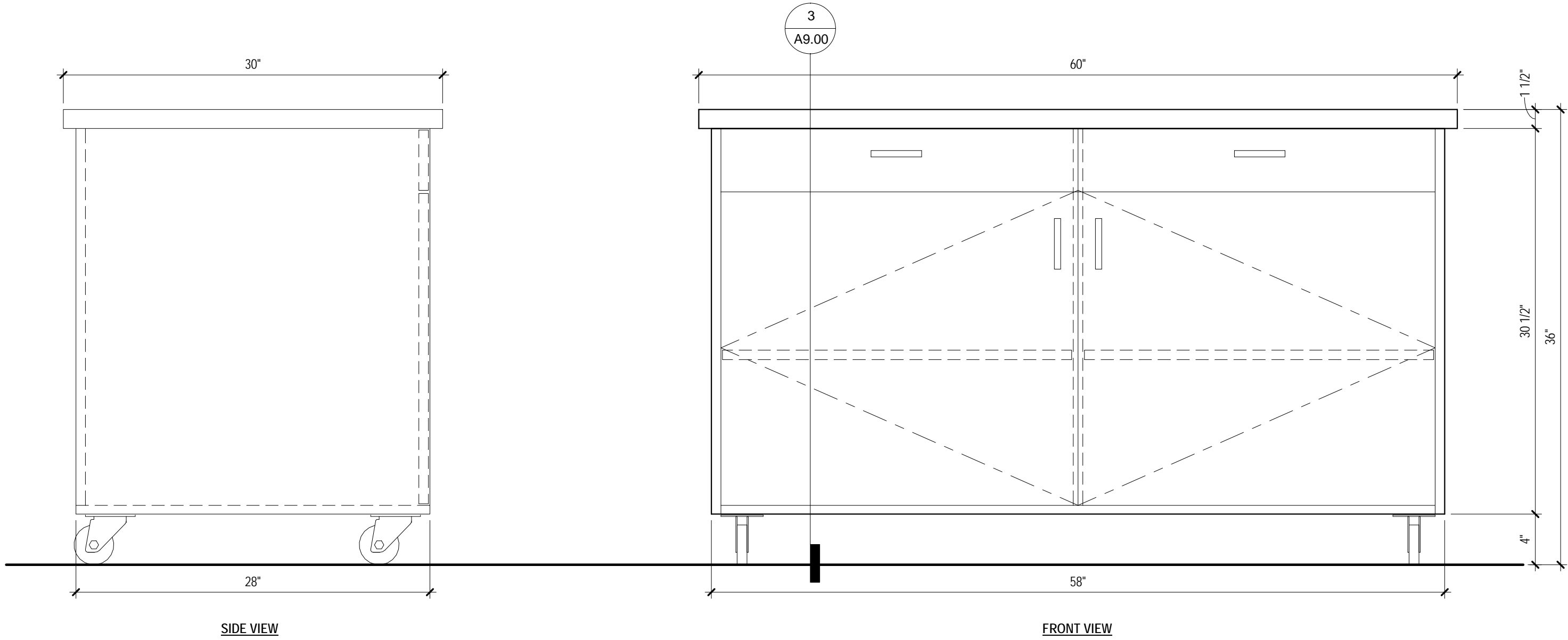
1050 SE JACKSON ST. ALBANY, OREGON

Issue: CD SET
Date: 12/22/17

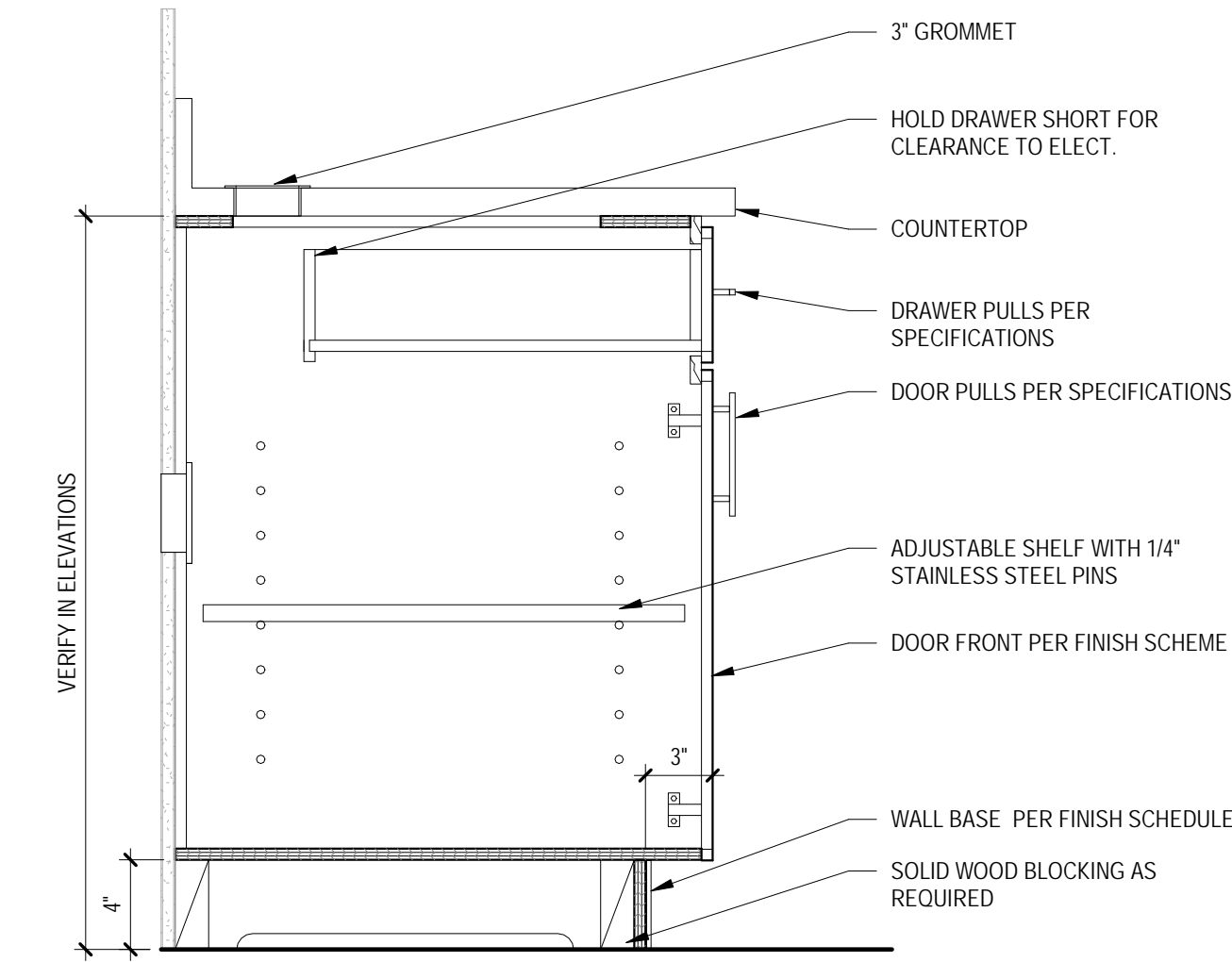
Revision: Date:

INTERIOR
ELEVATIONS

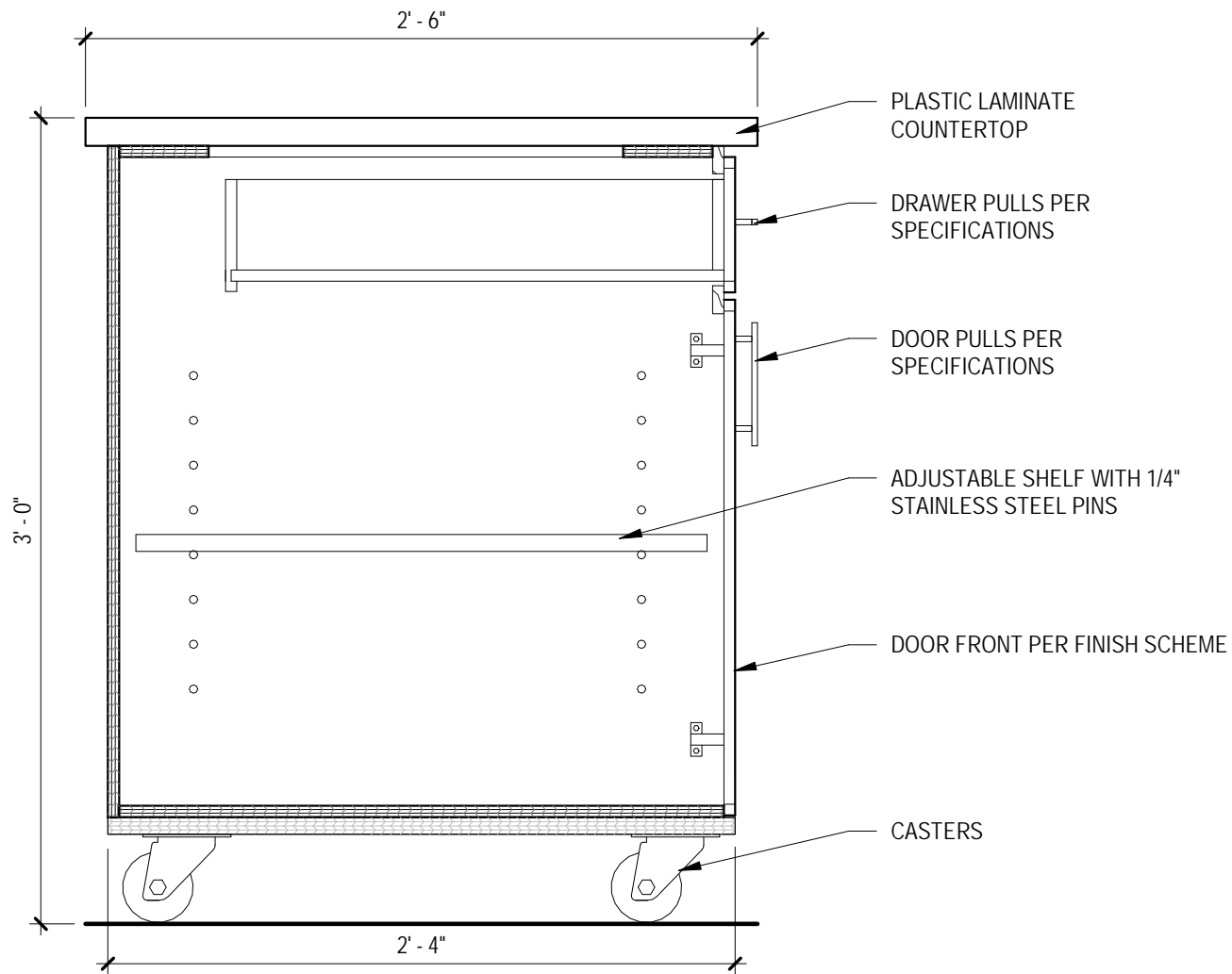
A7.00



2 MOBILE CABINET
1 1/2" = 1'-0" REF. FROM 1 / A2.01



1 TYP. BASE CABINET W/ DRAWER
1 1/2" = 1'-0" REF. FROM 1C / A7.00



3 MOBILE CABINET W/ CASTERS
1 1/2" = 1'-0" REF. FROM 2 / A9.00



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LINN COUNTY SHERIFF'S DEPT.
EVIDENCE STORAGE

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Issue: CD SET
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Revision: Date:

INTERIOR
DETAILS

A9.00

E-1.00 ELECTRICAL PLAN NOTES

- 1
- CONTRACTOR TO REMOVE EXISTING RECEPTACLE, EXTEND CIRCUIT TO NEW RECEPTACLE LOCATION SHOWN ON DETAIL 2/E1.00.
- 2
- CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR TO RELOCATE CIRCUIT FOR EXISTING DUCTLESS SPLIT SYSTEM TO NEW LOCATION SHOWN.
- 3
- CONTRACTOR TO RELOCATE EXISTING SWITCHING TO NEW WALL PER DETAIL 2/E1.00.
- 4
- CONTRACTOR TO REMOVE EXISTING LIGHTING THIS AREA, PREPARE EXISTING LIGHTING CIRCUIT FOR NEW LIGHTING FIXTURES PER DETAIL 2/E1.00.
- 5
- CONTRACTOR TO ADJUST LAYOUT OF EXISTING LIGHTING FIXTURES IN STORAGE 04 AND STORAGE 07 TO ACCOMMODATE NEW WALL LAYOUT, PROVIDE NEW SWITCHING FOR STORAGE 07 IN LOCATION SHOWN.
- 6
- CONTRACTOR TO PROVIDE DEDICATED RECEPTACLE FOR EVIDENCE REFRIGERATOR, EXISTING PANEL CIRCUIT 28.
- 7
- CONTRACTOR TO PROVIDE DEDICATED RECEPTACLE FOR EVIDENCE FREEZER, EXISTING PANEL CIRCUIT 30.
- 8
- CONTRACTOR TO RELOCATE EXISTING RECEPTACLE CIRCUIT TO NEW RECEPTACLE LOCATION SHOWN. COORDINATE LOCATION WITH COUNTER TOP, VERIFY LOCATIONS WITH OWNER PRIOR TO ROUGH IN.
- 9
- CONTRACTOR TO PROVIDE NEW RECEPTACLE CIRCUIT FOR CORD REEL RECEPTACLES, CIRCUIT THROUGH EXISTING PANEL CIRCUIT 32. PROVIDE HUBBELL HBLC30163TT CORD REEL OR APPROVED.
- 10
- CONTRACTOR TO COORDINATE ELECTRICAL CIRCUIT FOR DUCTLESS SPLIT SYSTEM WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH IN. CIRCUIT THROUGH EXISTING PANEL, CIRCUITS 36,38 AND 40,42. 20 AMP 2 POLE CIRCUITS.
- 11
- CONTRACTOR TO COORDINATE 20 AMP CIRCUIT FOR POINT OF USE HOT WATER HEATER WITH PLUMBING CONTRACTOR. PROVIDE CIRCUIT FROM EXISTING PANEL CIRCUIT 37.
- 12
- CONTRACTOR TO PROVIDE 20 AMP CIRCUIT TO NEW UNIT HEATER, COORDINATE REQUIREMENTS WITH MECHANICAL CONTRACTOR. CIRCUIT THROUGH EXISTING PANEL CIRCUIT 35.
- 13
- CONTRACTOR TO PROVIDE NEW RECEPTACLE CIRCUIT TO OFFICE 13 RECEPTACLES, CIRCUIT THROUGH EXISTING PANEL CIRCUIT 33.
- 14
- CONTRACTOR TO PROVIDE NEW 20 AMP CIRCUIT FOR SINK PUMP, COORDINATE REQUIREMENTS WITH PLUMBING CONTRACTOR PRIOR TO ROUGH IN. CIRCUIT THROUGH EXISTING PANEL CIRCUIT 31.
- 15
- CONTRACTOR TO PROVIDE NEW LIGHTING FIXTURES PER SCHEDULE, CIRCUIT THROUGH EXISTING AREA LIGHTING CIRCUIT. PROVIDE NEW SWITCHING AS SHOWN.
- 16
- CONTRACTOR TO PROVIDE NEW RECEPTACLE CIRCUIT TO OFFICE 03 RECEPTACLES, CIRCUIT THROUGH EXISTING PANEL CIRCUIT 31.
- 17
- CONTRACTOR TO PROVIDE POWER AND LOW VOLTAGE FOR ENTRY GATE AND CARD READER, VERIFY REQUIREMENTS WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH IN, CIRCUIT THROUGH EXISTING PANEL CIRCUIT 34.
- 18
- CONTRACTOR TO EXTEND EXTERIOR RECEPTACLE CIRCUIT TO NEW EXTERIOR RECEPTACLE LOCATED NEAR NEW CONDENSING UNITS.

GENERAL NOTES

UNLESS OTHERWISE NOTED 120 VOLT 20 AMP BRANCH CIRCUITS SHALL BE (2) #12 THHN,
(1) #12 GRND. 1/2" CONDUIT

CONTRACTOR TO VERIFY LOCATIONS OF EQUIPMENT AND DEVICES WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGH IN.

CONTRACTOR TO PROVIDE CAT 5E CABLING BETWEEN SERVER TO EACH NEW DATA LOCATION SHOWN. TYPICAL OF (2) DATA PORTS AT EACH LOCATION SHOWN.

CONTRACTOR TO FIELD VERIFY CIRCUITS PRIOR TO DEMOLITION. CONTRACTOR TO MAINTAIN ALL CIRCUITS TO RECEPTACLES IN EXISTING WALLS THAT REMAIN.

CONTRACTOR TO PROVIDE PERMANENT, TYPE WRITTEN PANEL SCHEDULES FOR PANEL MODIFIED DURING REMODEL.

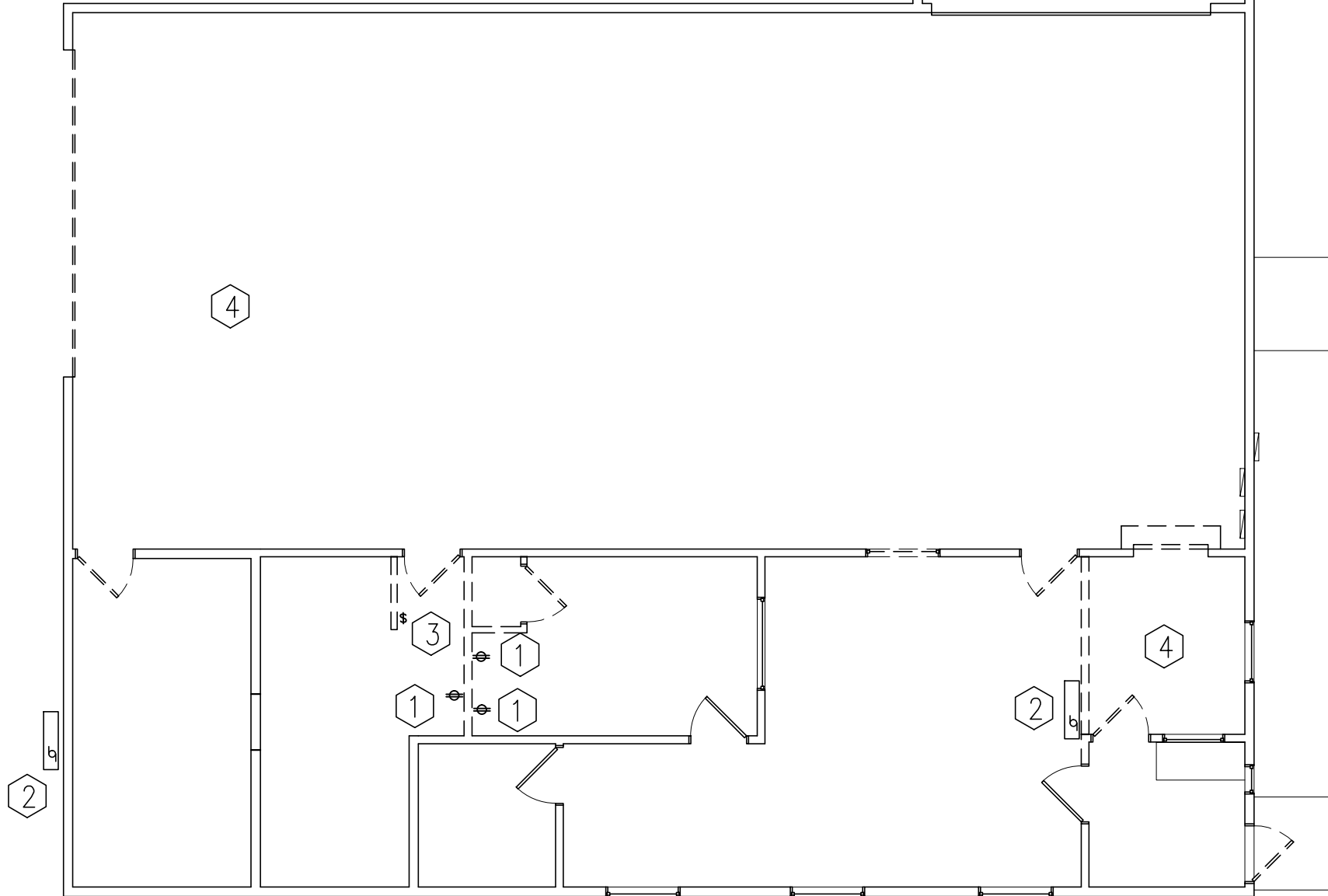
CONTRACTOR TO COORDINATE INSTALLATION OF NEW ELECTRICAL COMPONENTS AND DEVICES WITH GENERAL CONTRACTOR. ALL NEW CONDUIT, BOXES AND COMPONENTS TO BE CONCEALED IN WALLS/CEILINGS, WHERE PRESENT.

CONTRACTOR TO COORDINATE ELECTRICAL REQUIREMENTS WITH PLUMBING AND HVAC CONTRACTORS. CONTRACTOR TO PROVIDE DISCONNECTS, FUSES, BREAKERS, RELAYS, AND SWITCHES AS REQUIRED FOR A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM.

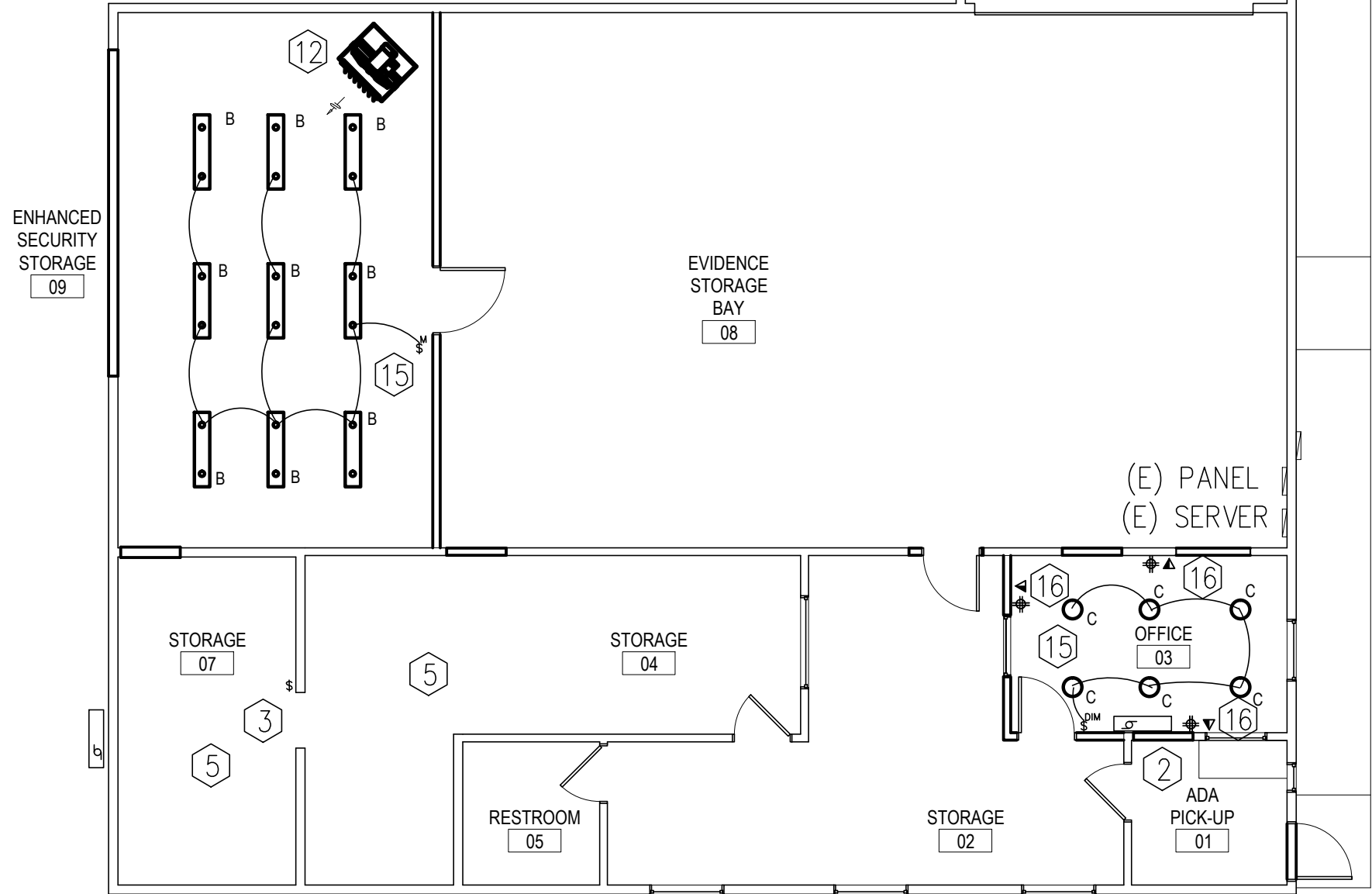
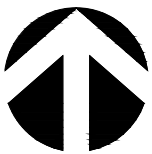
CONTRACTOR TO COORDINATE WITH PREMIER ELECTRIC FOR DOOR ACCESS REQUIREMENTS. CONTRACTOR TO PROVIDE POWER TO DOORS INTO PROCESSING 14 AND ENHANCED SECURITY STORAGE 09.

Luminaire Schedule					
Label	Manufacturer	Catalog Number	Description	Lamp	Wattage
A	Eaton Metalux	22SR-LD2-29-C-UNV-L835-CD1-U	SKYRIDGE 2x2 TROFFER LED MODULE	LED	24
B	Lithonia Lighting	LBL4 30L LP835	LED WRAPAROUND	LED	27
C	Lithonia Lighting	LDN6 35 10 L06 WR LSS 120	6" RECESSED CAN	LED	18

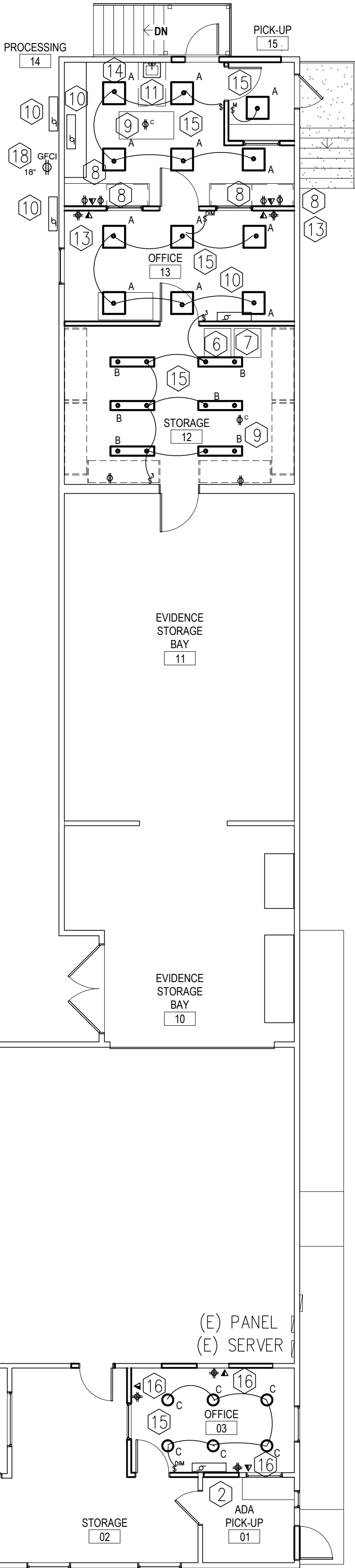
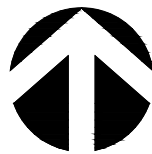
FLOOR PLAN LEGEND	
SYMBOL	DESCRIPTION
	WALL MOUNTED DUPLEX OUTLET
	VOICE/DATA OUTLET (2) PORT
	STANDARD QUADRUPLUX OUTLET
	CEILING MOUNTED DUPLEX RECEPTACLE
	SWITCH WITH DIMMER
	WATTSTOPPER DW-100 DUAL TECHNOLOGY OCCUPANCY SENSOR



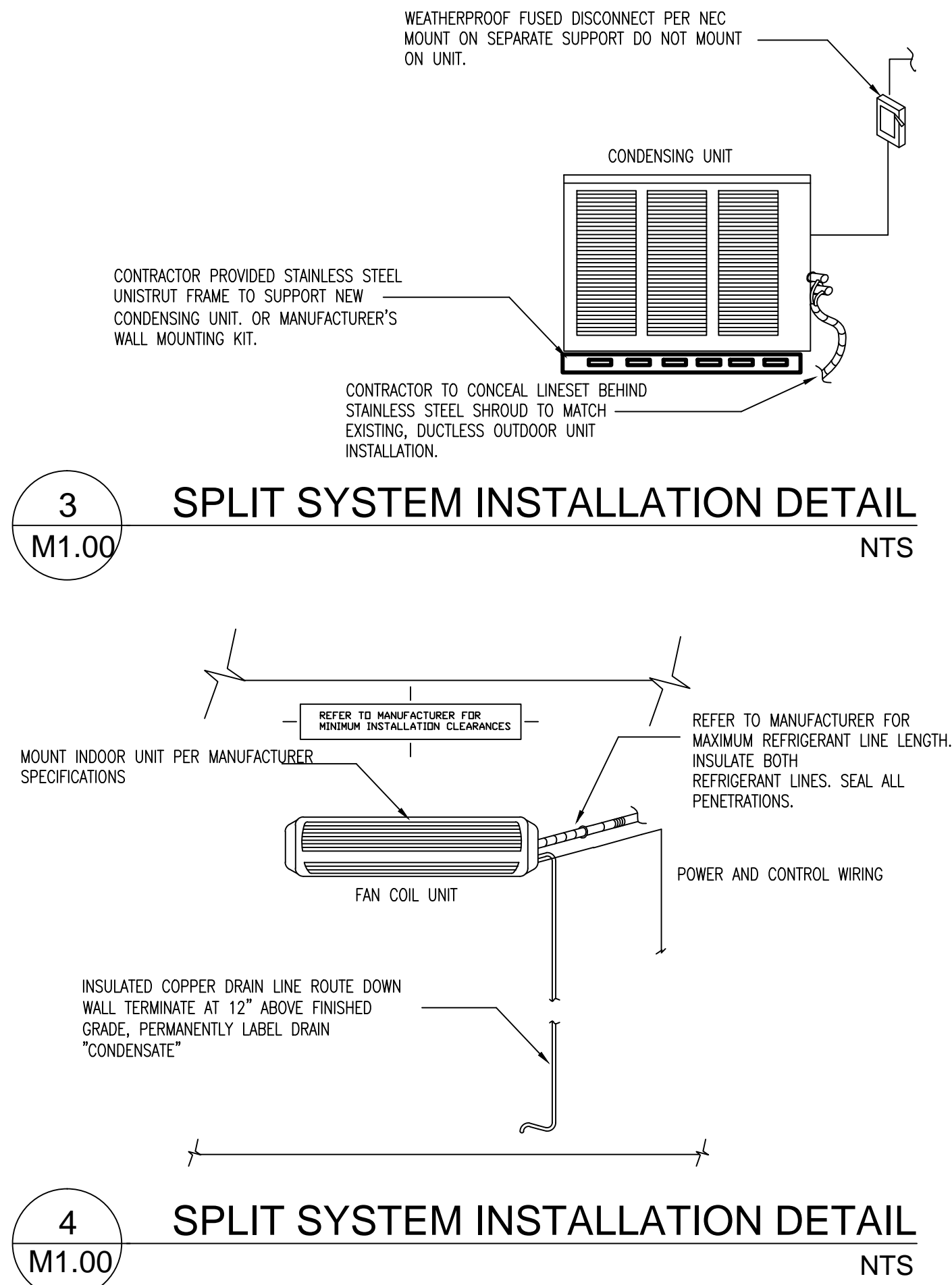
1 ELECTRICAL DEMOLITION PLAN
1/8" = 1'-0"



2 ELECTRICAL FLOOR PLAN
1/8" = 1'-0"



MINI SPLIT SYSTEM TO BE INSTALLED
ACCORDING TO ALL APPLICABLE
NATIONAL AND LOCAL ELECTRICAL,
MECHANICAL AND BUILDING CODES



SPLIT SYSTEM AIR CONDITIONING SCHEDULE													
UNIT	CAPACITY		HEATING		INDOOR FAN		VOLTAGE/		HERTZ		MCA		NOTES
	BTUH	BTUH	CFM HI/LOW	SEER	HSPF	PHASE	HERTZ	MCA	MOP	MANUFACTURER	INDOOR UNIT	WEIGHT	
DAC1	9,000	10,800	450/190	23.5	11.3	230/1	60	10	20	LG	LSU090HSV5	25 LBS	A,B,C,D
DAC2	9,000	10,800	450/190	23.5	11.3	230/1	60	10	20	LG	LSU090HSV5	25 LBS	A,B,C,D

A. PROVIDE WITH SINGLE POINT ELECTRICAL CONNECTION.
B. PROVIDE WITH LINE SET AND CONTROLS FOR COMPLETE AND OPERATING SYSTEM.
C. PROVIDE WALL MOUNTING KIT FOR OUTDOOR UNIT.
D. ALTERNATE MANUFACTURERS: MITSUBISHI, DAIKIN OR APPROVED

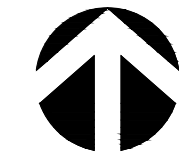
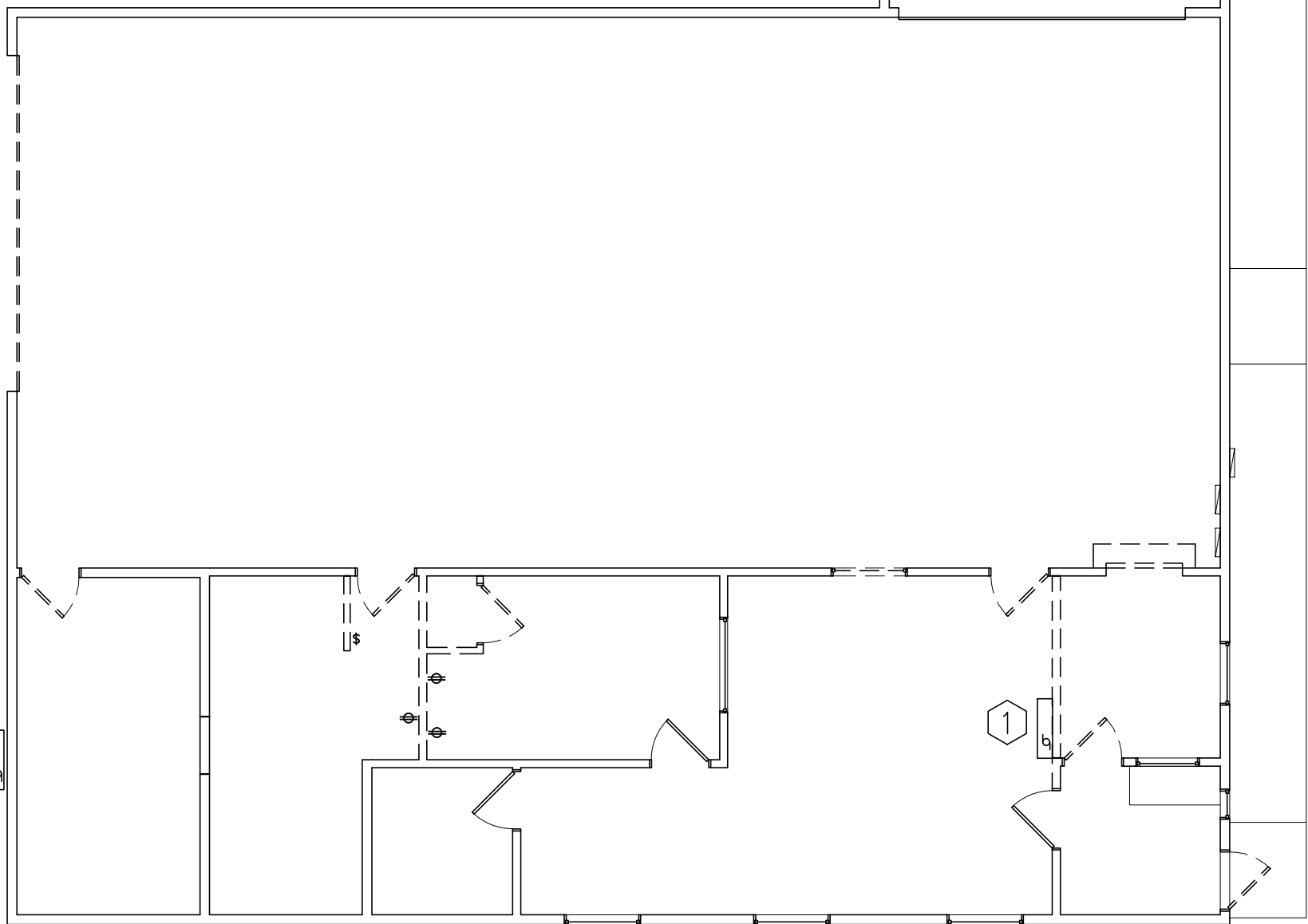
UNIT HEATER SCHEDULE							
UNIT	CFM	ELECTRICAL (V/PH)	HEATING FLA	MBTUh	EFF%	INDOOR UNIT MAKE/MODEL	WEIGHT (LBS) NOTES
UH1	500	115/1	13.0	30	82	REZNOR/UDBS30	150 a,b,c

a. PROVIDE WITH THERMOSTAT SET TO 55 DEGREES (ADJUSTABLE).
b. PROVIDE WITH 30 DEGREE NOZZLE.
c. PROVIDE WITH MANUFACTURER'S CONCENTRIC ROOF KIT FOR SEALED COMBUSTION.
d. ALTERNATE MANUFACTURERS: MODINE, TRANE, OR APPROVED.

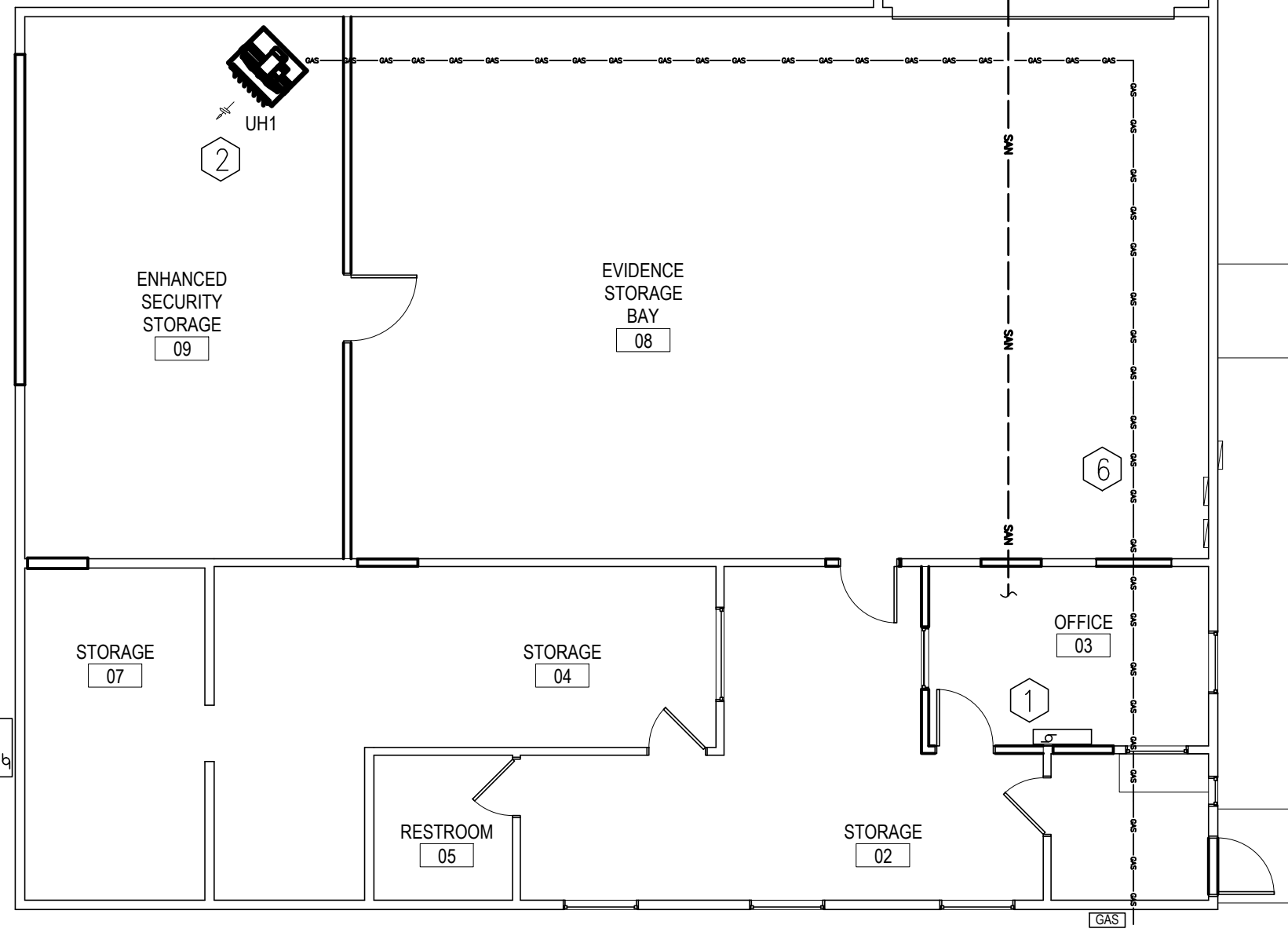
GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, THE GENERAL CONDITIONS, EXISTING EQUIPMENT TO REMAIN AND THE EXISTING EQUIPMENT TO BE REMOVED OR MODIFIED, NEW EQUIPMENT TO BE PROVIDED AND ALL OTHER MATTERS WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT. ANY FAILURE OF THE CONTRACTOR TO ACQUAINT HIMSELF WITH ALL AVAILABLE INFORMATION WILL NOT RELIEVE HIM OF RESPONSIBILITY OF SUCCESSFULLY PERFORMING THE WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE INSTALLATION OF EQUIPMENT AND ACCESSORIES WITH ALL OTHER TRADES PRIOR TO ROUGH IN. CONTRACTOR TO INSTALL EQUIPMENT REQUIRING SERVICE IN ACCESSIBLE LOCATIONS. CONTRACTOR TO MAINTAIN ADEQUATE ACCESS TO SUCH EQUIPMENT.
- CONTRACTOR TO INSTALL ALL PIPING AND ACCESSORIES IN STRICT CONFORMANCE TO THE SPECIFICATIONS, 2014 OREGON MECHANICAL SPECIALTY CODE AND AHJ.

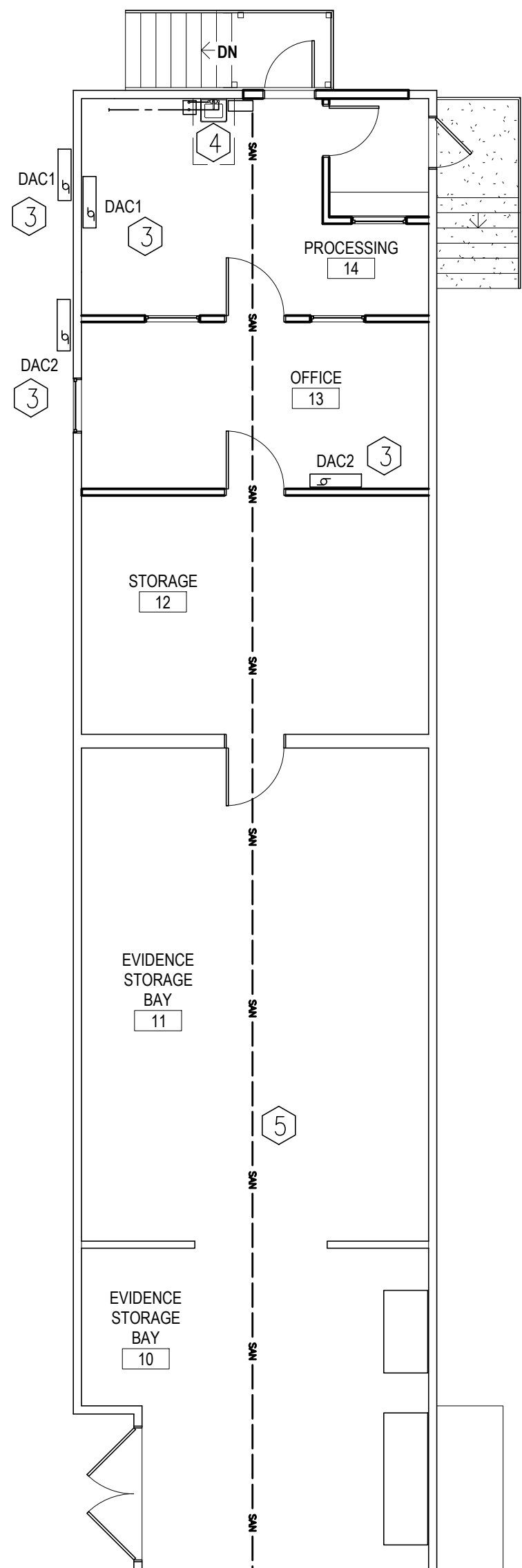
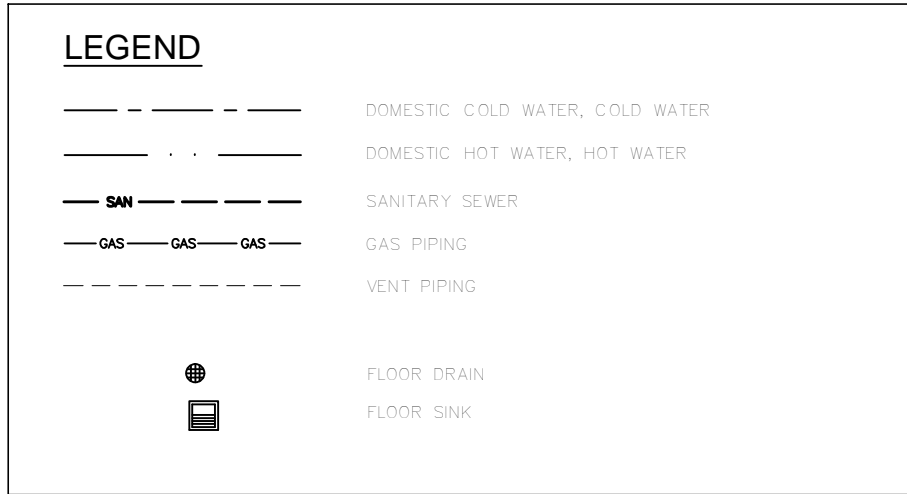
1
MECHANICAL DEMOLITION PLAN
1/8" = 1'-0"



2
MECHANICAL FLOOR PLAN
1/8" = 1'-0"



- M-1.00 MECHANICAL PLAN NOTES
- CONTRACTOR TO RELOCATE EXISTING DUCTLESS AIR HANDLING UNIT TO NEW WALL, COORDINATE WITH OWNER PRIOR TO ROUGH IN.
 - CONTRACTOR TO PROVIDE NEW UNIT HEATER PER SCHEDULE, EXTEND 1/2" GAS LINE FROM EXISTING GAS METER TO NEW UNIT HEATER LOCATION. PROVIDE WITH ROOF CONCENTRIC KIT FOR COMBUSTION AIR AND FLUE, PROVIDE ROOF JACK COMPATIBLE WITH EXISTING ROOF.
 - PROVIDE DUCTLESS SPLIT SYSTEM PER SCHEDULE, COORDINATE ELECTRICAL REQUIREMENTS WITH ELECTRICIAN PRIOR TO ROUGH IN. COORDINATE LOCATION WITH OWNER PRIOR TO ROUGH IN. ROUTE CONDENSATE DRAIN DOWN IN EXTERIOR WALL, TERMINATE 12" ABOVE FINISHED GRADE WITH ELBOW DOWN.
 - PROVIDE 1/2" PEX WATER LINE FROM EXISTING WATER LINE SERVING HOSE BIB, ROUTE TO NEW HAND SINK, ELKAY LRAD172065PDSC AND LK406GN04T4SC FAUCET WITH BRADLEY FAUCET MOUNTED EYE WASH OR APPROVED. EXTEND 1/2" WATER SUPPLY TO BOSCH ES8 POINT OF USE HOT WATER HEATER, INSTALL PER MANUFACTURER, CONNECT 1/2" HOT WATER LINE TO SINK. COORDINATE LOCATION WITH OWNER PRIOR TO ROUGH IN, PROVIDE WITH KIT TO MOUNT HOT WATER HEATER TO WALL. PROVIDE SANIFLOW SANIVITE 008 OR APPROVED DRAIN PUMP, ROUTE 1-1/2" VENT UP THROUGH ROOF, PROVIDE ROOF JACK COMPATIBLE WITH EXISTING ROOF, ROUTE 1" PRESSURE DISCHARGE TO EXISTING GRAVITY DRAIN ABOVE OFFICE 03, CONNECT TO TOP OF GRAVITY DRAIN PER OPSSC.
 - CONTRACTOR TO ROUTE DRAIN AS STRAIGHT AS POSSIBLE, VERIFY ROUTING PRIOR TO ROUGH IN, VERIFY PENETRATIONS THROUGH ANY STRUCTURAL MEMBER WITH STRUCTURAL ENGINEER PRIOR TO DRILLING. LABEL DRAIN EVERY 20' AND ON OPPOSITE SIDES OF ANY WALL/BARRIER. CONTRACTOR TO SLOPE IN DIRECTION OF FLOW AS SOON AS PATH ALLOWS, INCREASE TO 1-1/2" DRAIN WHEN SLOPED TO DRAIN. FIELD VERIFY LOCATION OF CONNECTION TO EXISTING SANITARY SEWER SYSTEM.
 - ROUTE GAS PIPING PARALLEL TO STRUCTURE, KEEP TIGHT TO STRUCTURE WHERE POSSIBLE, COORDINATE ROUTING WITH OTHER TRADES, VERIFY PENETRATIONS THROUGH ANY STRUCTURAL MEMBER WITH STRUCTURAL ENGINEER PRIOR TO DRILLING. CONNECT AT METER.



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ELECTRICAL
FLOOR PLAN

M1.00